



Minor Works Control System

for building owner /
owners' corporation



Minor Works Control System for building owner/owners' corporation

The Minor Works Control System (MWCS) aims to facilitate building owners and occupants in carrying out small-scale building works safely and lawfully through simplified statutory procedures and thereby improve the quality of such building works and building safety in Hong Kong.

▶ Minor works

A total of 187* items of building works that are minor works are subjected to the control under the MWCS. The size, location and respective criteria of each item of minor works are set out in the Building (Minor Works) Regulation (B(MW)R). These minor works are classified into three classes according to their scale, complexity and risk to safety:

- Class I (a total of 58 items) are mainly those relatively more complicated minor works
- Class II (a total of 68 items) are those of comparatively lower complexity and risk to safety
- Class III (a total of 61 items) mainly include common household and amenity minor works

To facilitate checking of details of the minor works items, the 187 items of minor works are grouped into over 40 categories in accordance with the nature/substance of the works.

Note:

- * The B(MW)R was amended in 2012 (8 minor works items were added) and 2020. The Building (Minor Works) (Amendment) Regulation 2020 with effect from 1 September 2020 involve 9 repealed, 56 amended and 70 additional minor works items.

Minor Works		Item ¹		
		Class I	Class II	Class III
Erection/alteration/removal of supporting structures/metal casings for a building services installation (BSI)²	on-grade/ on a canopy/ on a roof/ on a cantilevered slab ³	1.5, 1.50	2.2	3.2, 3.50
Erection/alteration/removal of supporting frames for an air-conditioning unit/light fitting/antenna/transceiver	projecting from an external wall of a building	1.28	2.31, 2.49	3.26, 3.27
Erection/alteration/removal of supporting structures for a radio base station on a roof		1.14	2.12	3.8
Erection/alteration/removal of external metal ventilation ducts/associated supporting frames		1.5, 1.47	2.2, 2.31, 2.47	3.2, 3.47, 3.48, 3.49
Erection/alteration/repair/removal of canopies/retractable awnings		1.27	2.31, 2.43	3.25, 3.26, 3.38, 3.43
Erection/alteration/removal of drying racks				3.29, 3.30
Construction/alteration/repair/removal/replacement of windows/ window walls		1.60	2.8, 2.9	3.6, 3.7
Repair/replacement of curtain walls		1.61		
Erection/alteration/removal/repair/replacement of protective barriers		1.6	2.5	3.3
Repair of structural elements		1.17	2.17	
Erection/repair/alteration/addition/removal of drains	aboveground		2.30	3.23, 3.24
	underground	1.25, 1.26, 1.36	2.28, 2.29, 2.36	
Erection/alteration/repair/removal of external non-load bearing reinforced concrete walls/external block walls		1.15	2.13, 2.14, 2.15	3.11, 3.12
Formation /reinstatement of openings on external non-load bearing reinforced concrete walls/external block walls				3.45, 3.46
Laying/repair/removal of external rendering/external wall tiles/roof finishes		1.62	2.34	
Erection/repair/replacement/removal of external claddings		1.48	2.48	3.31
Construction/alteration of spread footings associated with the carrying out of minor works/designated exempted works		1.11	2.10	
Excavation works associated with the carrying out of minor works/ designated exempted works		1.12	2.11	

Minor Works		Item ¹		
		Class I	Class II	Class III
Erection/alteration/removal/repair of solid fence walls	on-grade	1.7, 1.9, 1.57	2.6	3.4, 3.57
	on a roof	1.55	2.55, 2.61 2.64	3.55, 3.61 3.64
Erection/alteration/removal/repair of mesh fences/metal railings	on-grade/on top of a solid fence wall on-grade	1.8, 1.10, 1.58, 1.59	2.7, 2.57, 2.58, 2.67	3.5, 3.58
	on a roof	1.56	2.56, 2.62, 2.65	3.56, 3.62, 3.65
Erection/alteration/removal/repair of poles	on-grade/on top of a solid fence wall on-grade	1.10, 1.53, 1.58, 1.59	2.53, 2.57, 2.59, 2.66	3.59, 3.66
	on a roof	1.54	2.54, 2.60, 2.63	3.54, 3.60, 3.63
Erection/alteration/repair/removal of metal wind guards for openings on an external wall of a building			2.41	
Erection/alteration/repair/removal of metal gates at a fence wall or at an entrance of a building		1.16, 1.40	2.16, 2.40	3.13, 3.33
Erection/alteration/replacement of glass reinforced polyester water tanks or removal of water tanks		1.49	2.3, 2.4	
Erection/alteration/repair/removal of planters/ponds/fountains		1.52	2.52	3.52
Erection/alteration/repair/removal of trellises		1.45	2.44, 2.45	3.44
Erection/alteration/repair/removal of external cat-ladders			2.51	3.51
Repair/replacement/removal of external metal structures providing access for maintenance			2.50	
Routine maintenance of slopes or retaining walls				3.53
Erection/alteration/removal of signboards		1.20 – 1.24	2.18 – 2.22, 2.24 – 2.27	3.16 – 3.22
Installation/alteration/replacement/removal of display surface of signboards			2.23, 2.68	3.16, 3.17
Removal of architectural projections			2.31	3.26
Removal of chimneys		1.37	2.37	
Strengthening of unauthorised structures (supporting structures for air-conditioning units/water cooling towers/associated ducts, drying racks and canopies)				3.34, 3.35, 3.36, 3.37
Removal of unauthorised structures	on and above roof, flat roof, yard and lane	1.38	2.39	3.32
	other locations	1.30, 1.39	2.32, 2.38	

Minor Works	Item ¹		
	Class I	Class II	Class III
Erection/alteration/removal of internal staircases	1.1, 1.32		3.1
Formation/reinstatement of slab openings	1.2, 1.35	2.1, 2.35	
Building works associated with the erection/alteration/removal of service lifts/stairlifts/lifting platforms	service lift	1.3, 1.33	
	stairlift or lifting platform	1.4, 1.34	
Erection of non-load bearing block walls, laying of solid floor screedings, or erection or alteration of aboveground drains in the subdivision of a domestic flat into 3 or more rooms, at least 3 of which are provided with lavatories or other sanitary fitments; and the resulting number of such rooms is greater than that shown on the original approved plan	1.41		
Formation or alteration of openings to the enclosure (other than a load bearing wall) of staircase or its protected lobby	1.42		
Erection of non-load bearing block walls in a flat	1.43		3.39, 3.40
Thickening of floor slabs in a flat by laying solid screedings	1.44		3.41, 3.42
Erection/repair/removal of panels fixed by metal dowels and fixings onto a wall inside a building	1.31	2.33	
Erection/alteration of supporting frames for suspending an air-conditioning plant or a mechanical ventilation plant inside a building	1.51		
Erection/alteration of metal ventilation ducts/associated supporting frames inside a building	1.46	2.46	
Erection/alteration of fire dampers in ventilation system		2.42	

For detailed descriptions, sizes, locations and respective requirements of each minor works item, please visit the Buildings Department website at www.bd.gov.hk, and refer to the B(MW)R and the Technical Guidelines on Minor Works Control System. The requirements of the minor works items generally involve restrictions related to structural safety. For example, the works should not result in any additional load to any cantilevered slab or the works should not involve the alteration of any other structural elements. For the location, if the works are located on a slab or roof, it may be required that the slab or roof should not be a cantilevered slab. The appointed prescribed building professional and/or prescribed registered contractor should ensure the works comply with all the requirements of the relevant minor works items.

Notes:

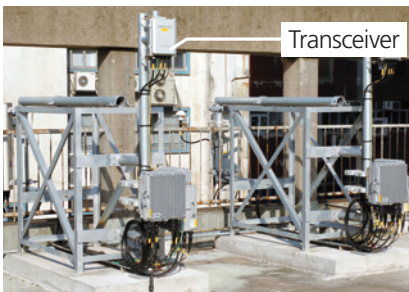
- ¹ The numbers tabulated under “Item” denote the classes and item numbers of the minor works. For example, “1.5” denotes the item no. 5 under Class I minor works in the B(MW)R. Any alteration works must be read as including any strengthening works for that item. Any erection works must be read as including any replacement works for that item. Any removal works must be read as including any removal works for any structure that falls within the descriptions of that item and is an unauthorised structure.
- ² Building services installation includes any solar water heating system, photovoltaic system (solar panel system), antenna, transceiver, air-conditioning unit, water cooling tower, light fitting and pump set (installations) and any duct associated with any of the installations but excludes any water tank, lift, stairlift, lifting platform, ventilation duct and radio base station.
- ³ For removal works only.

▶ Typical minor works items

Most of the minor works items specified in the B(MW)R are related to household minor works and amenity features. 12 categories of typical minor works are given below.

1. Supporting structures/frames or metal casings for a building services installation(BSI)[@]

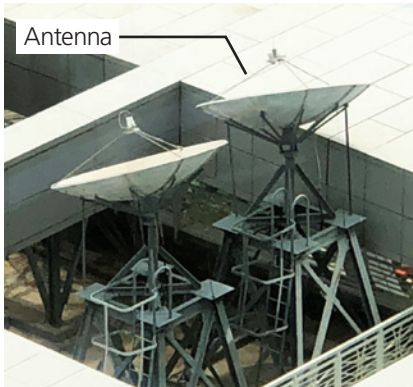
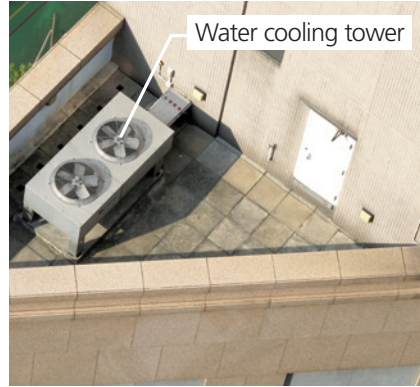
(a) Supporting structures/metal casings for BSI on-grade/on a canopy/ on a roof/on a cantilevered slab



[@] BSI includes any solar water heating system, photovoltaic system (solar panel system), antenna, transceiver, air-conditioning unit, water cooling tower, light fitting and pump set (installations) and any duct associated with any of the installations but excludes any water tank, lift, stairlift, lifting platform, ventilation duct and radio base station.

The following items involve erection/alteration of supporting structures/metal casings for a BSI on-grade, on a canopy (other than a cantilevered slab) or on a roof (other than a cantilevered slab):

Class	Item
I	1.50
III	3.50



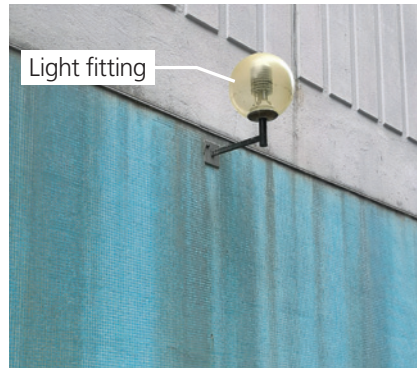
The following items involve removal of supporting structures/metal casings for a BSI on-grade/on a canopy (other than a cantilevered slab) /on a roof (other than a cantilevered slab):

Class	Item
II	2.2
III	3.2

The items on the right involve removal of supporting structures/metal casings for a BSI on a cantilevered slab:

Class	Item
I	1.5
II	2.2

(b) Supporting frames for an air conditioning unit, light fitting, antenna or transceiver projecting from the external wall of a building



The items on the right involve erection/alteration of supporting frames for an air-conditioning unit/light fitting/antenna/transceiver:

Class	Item
I	1.28
II	2.49
III	3.27

The items on the right involve removal of supporting frames for an air-conditioning unit/light fitting/antenna/transceiver:

Class	Item
I	1.28
II	2.31
III	3.26, 3.27

2. Light weight canopies/retractable awnings

The following items involve erection, alteration or repair of canopies/retractable awnings:

Canopy

Class	Item
I	1.27
III	3.25



Retractable awning

Class	Item
II	2.43



The following items involve removal of canopies/retractable awnings:

Canopy

Class	Item
I	1.27
II	2.31
III	3.25, 3.26

Retractable awning

Class	Item
III	3.43

3. Drying racks

The following item involves erection, alteration or removal of drying racks:

Class	Item
III	3.29

The following item involves only removal of drying racks:

Class	Item
III	3.30



4. Windows/window walls/curtain walls

(a) Windows/window walls



The items on the right involve construction, alteration, repair or replacement of windows or window walls:

Class	Item
I	1.60
II	2.8
III	3.6

The items on the right involve removal of windows or window walls:

Class	Item
II	2.9
III	3.7

(b) Curtain wall

The following item involves repair or replacement of curtain walls:

Class	Item
I	1.61

Please note that every opening formed on an external wall above the ground floor of any building shall be protected by a barrier not less than 1100mm high. If the window/window wall/curtain wall works involve the removal or alteration of the original approved windows/window walls/curtain walls/protective railings/parapet walls of balconies and verandahs or that part of the external wall with function as a protective barrier, the minor works items 1.6, 1.15, 2.13, 2.14 or/and 3.11 may be involved.

If the window/window wall/curtain wall works involve repair or replacement of any protective barrier (other than an external reinforced concrete wall or block wall) in accordance with the original design (i.e. the design as shown on plans approved under the Buildings Ordinance), Class II minor works item 2.5 may be involved.

5. Aboveground drains

The following items involve erection, repair, alteration or removal of aboveground drains:

Class	Item
II	2.30
III	3.23

The following item involves only removal of unauthorised aboveground drains:

Class	Item
III	3.24

Repair or replacement of internal branch pipes (other than embedded pipes) or sanitary fittings are exempted works.

6. External rendering/external wall tiles/ roof finishes



The items on the right involve laying/ repair/removal of external rendering/ external wall tiles/roof finishes:

Class	Item
I	1.62
II	2.34

7. Solid fence walls/mesh fences/metal railings/poles



Solid fence wall



Metal railing



Mesh fence



Pole

(a) On-grade/on top of a solid fence wall on grade

The following items involve erection/alteration of solid fence walls/mesh fences/metal railings/poles:

Class	Item		
	Solid fence wall	Mesh fence/metal railing	Pole
I	1.7	1.8, 1.59	1.53, 1.59
II	2.6	2.7, 2.57	2.53, 2.57

The following items involve repair of solid fence walls/mesh fences/metal railings/poles:

Class	Item		
	Solid fence wall	Mesh fence/metal railing	Pole
I	1.57	1.58	1.58
II	–	2.58	2.59
III	3.57	3.58	3.59

The following items involve removal of solid fence walls/mesh fences/metal railings/poles:

Class	Item		
	Solid fence wall	Mesh fence/metal railing	Pole
I	1.9	1.10	1.10
II	–	2.67	2.66
III	3.4	3.5	3.66

(b) On roof

The following items involve erection/alteration of solid fence walls/mesh fences/metal railings/poles:

Class	Item		
	Solid fence wall	Mesh fence/metal railing	Pole
I	1.55	1.56	1.54
II	2.55	2.56	2.54
III	3.55	3.56	3.54

The following items involve repair of solid fence walls/mesh fences/metal railings/poles:

Class	Item		
	Solid fence wall	Mesh fence/metal railing	Pole
II	2.61	2.62	2.60
III	3.61	3.62	3.60

The following items involve removal of solid fence walls/mesh fences/metal railings/poles:

Class	Item		
	Solid fence wall	Mesh fence/metal railing	Pole
II	2.64	2.65	2.63
III	3.64	3.65	3.63

8. Metal gates at a fence wall or at an entrance of a building

The following items involve erection/alteration/repair of metal gates at a fence wall or at an entrance of a building:

The following items involve erection/alteration/repair of metal gates at a fence wall or at an entrance of a building:

Class	Item
I	1.16
II	2.16
III	3.13



The following items involve removal of metal gates at a fence wall or at an entrance of a building:

Class	Item
I	1.40
II	2.40
III	3.13, 3.33

9. Planters/ponds/fountains

(a) Planters on a roof /on-grade



The following items involve erection/alteration of planters on a roof/on-grade:

Class	Item	
	On-grade	On a roof
I	–	1.52
II	2.52	–

The following items involve repair/removal of planters on a roof/on-grade:

Class	Item	
	On-grade	On a roof
II	2.52	–
III	–	3.52

(b) Ponds/fountains on-grade



The following item involves erection/alteration/repair/removal of ponds/fountains on-grade:

Class	Item
II	2.52

10. Trellises



The following items involve erection/alteration/removal of trellises on a roof or on-grade:

Class	Item	
	On-grade	On a roof
I	–	1.45
II	2.44	2.45

The following item involves repair of trellises on a roof or on-grade:

Class	Item
III	3.44

11. Removal of unauthorised structures on rooftop, flat roof, in yard and lane



Class	Item
I	1.38
II	2.39
III	3.32



12. Subdivision of a flat

The item on the right involves erection of non-load bearing block walls, laying of solid floor screedings, erection or alteration of aboveground drains in the subdivision of a domestic flat into 3 or more rooms, at least 3 of which are provided with lavatories or other sanitary fitments, and the resulting number of such rooms is greater than that shown on the original approved plan:



Class	Item
I	1.41

The item on the right involves formation or alteration of openings to the enclosure (other than a load bearing wall) of a staircase or its protected lobby:

Class	Item
I	1.42

The items on the right involve erection of non-load bearing block walls in a flat and thickening of floor slabs in a flat by laying solid screedings:

Class	Item
I	1.43, 1.44
III	3.39, 3.40, 3.41, 3.42

For detailed descriptions of the minor works as mentioned in categories 1 to 12 above, please visit the Buildings Department website at www.bd.gov.hk, and refer to the B(MW)R and the Technical Guidelines on Minor Works Control System.

▶ Exempted building works

Building works (other than minor works) that are carried out in a building are exempted building works under section 41(3) of the Buildings Ordinance if they do not involve the structure of the building. For these exempted works, prior approval of building plans and consent to the commencement of works from the Buildings Department are not required. Though not required to be carried out by prescribed registered contractors and supervised by prescribed building professionals, the works should not be carried out in contravention of the regulations (which specify the building design and construction standards in such aspects as fire safety, structural safety and drainage works) under the Buildings Ordinance. Common interior renovation/alteration works (other than minor works), such as painting, internal plastering or wall-paper works, repair or replacement of internal branch pipe (other than embedded pipe) or sanitary fitment works, or removal of non-load bearing partition walls which need not have fire resistance rating are exempted works under the Buildings Ordinance.

▶ Designated exempted works

Apart from the exempted works in general mentioned above, the MWCS also introduced 30 items of designated exempted works, of which the complexity and risk to safety are lower than that of the minor works. In accordance with the Buildings Ordinance, the designated exempted works may be commenced without obtaining prior approval of plans and consent to commencement of works from the Buildings Department, and without the need to appoint authorized persons and registered contractors for the carrying out of the works. The related household works items of designated exempted works are listed on pages 20 to 22.

Works	Description of Designated Exempted Works	Item
Supporting structures/metal casings for a building services installation	Removal of supporting structures/metal casings resting on-grade/on a canopy/on a roof and the height of the supporting structure is not more than 1m	12
Supporting frames for an air-conditioning unit/light fitting of weight not more than 100kg	Erection/alteration/removal of supporting frames projecting from the external wall not more than 600mm and at a height not more than 3m above the ground/roof (the frames do not project over any street or common part of the building)	13
Light weight canopies	Erection/alteration/removal of non-concrete canopies at a height of not more than 3m above the ground/roof and no part of the canopies projects more than 500mm from the wall (the canopies do not project over any street or common part of the building)	14
Drying racks	Erection/alteration/removal of drying racks at a height of not more than 3m above the ground/ roof and no part of the racks projects more than 750 mm from the wall (the racks do not project over any street or common part of the building)	15
External rendering/external wall tiles/roof finishes	Laying/repair/removal of external rendering/ external wall tiles at a height of not more than 3m above the ground/roof or roof finishes on roof of gradient not more than 1 in 4 (the roof is not an inaccessible roof)	7
Water proofing layers (liquid-applied/ member-applied type)	Laying/replacement of water proofing layers on the roof surface without laying or removal of any tile layer/screeding layer	29

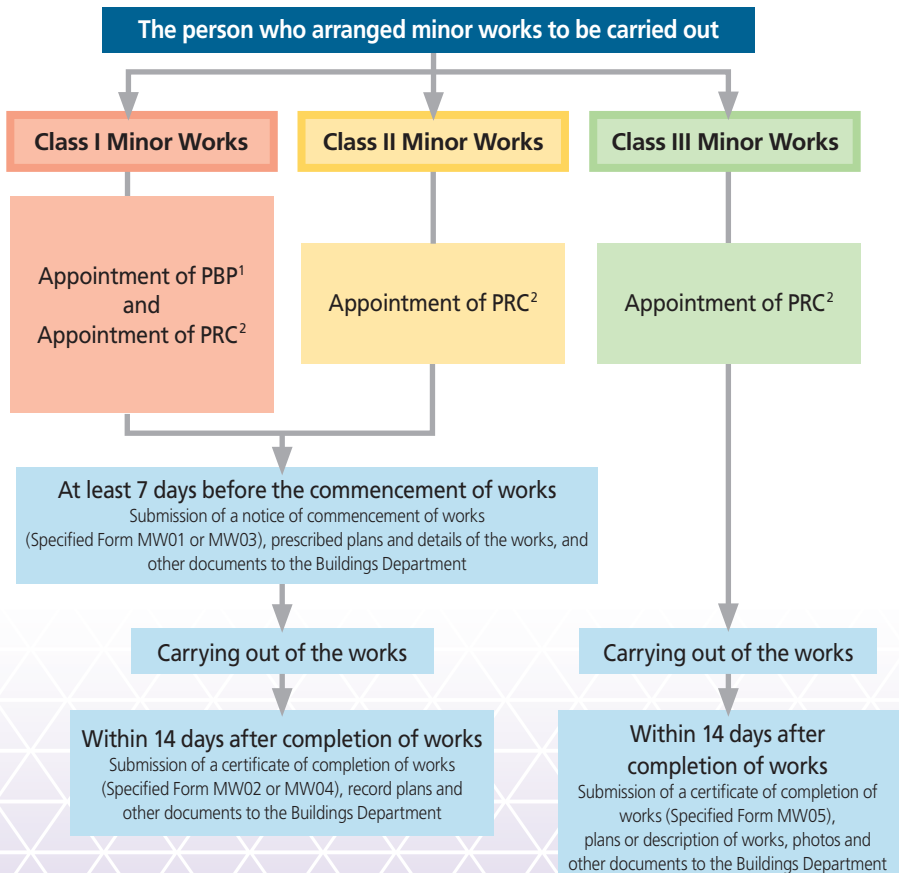
Works	Description of Designated Exempted Works	Item
Solid fence walls	Erection/alteration/repair/removal of solid fence walls on-grade - the height of the wall not more than 1.1m - the wall is not used as protective barrier	5
	Erection/alteration/repair/removal of solid fence walls on a roof - the height of the wall not more than 500mm - the thickness of the wall not more than 100mm - the density of the wall not more than 650kg/m ³ - the aggregate length of addition walls per m ² of the roof area not more than 0.3m for erection/alteration works	20
Mesh fences/ metal railings	Erection/alteration/removal/repair of external mesh fences/metal railings with/without a solid fence wall as lower parts on grade - the height of the structure not more than 3m - the height of lower part of the solid fence wall not more than 1.1m - the structure is not used as protective barrier	6, 16
	Erection of mesh fences/metal railings on top of a solid fence wall on-grade - the height of the wall alone not more than 2.5m - the aggregate height of the wall and the fence/railing/pole not more than 3m - the fence/railing is not used as protective barrier	21
	Erection/alteration/removal/repair of mesh fence/metal railing on a roof - the height of the fence/railing not more than 1.1m - the lower part of the fence/railing is not a solid fence wall - the fence/railing is not used as a protective barrier	18

Works	Description of Designated Exempted Works	Item
Poles	Erection/alteration/repair/removal of external poles on-grade - the height of the pole not more than 3m - the weight of the pole not more than 100kg for erection/alteration works	17
	Erection of pole on top of a solid fence wall on-grade - the height of the wall alone not more than 2.5m - the aggregate height of the wall and the fence/railing/pole not more than 3m	21
	Erection/alteration/repair/removal of poles on a roof - the height of the pole not more than 1.1m - distance between the poles at least 2.5m from each other for erection/alteration works	19
Metal gates at a fence wall/at an entrance of a building	Erection/alteration/repair/removal of metal gates at a fence wall or at an entrance of a building - the height of the gate is not more than 2.2m - the weight of each leaf of the gate is not more than 100kg - the width of each leaf of the gate is not more than 1.2m	8
Out-door planters/ponds/fountains on-grade (not involving any excavation of a depth of more than 300mm)	Erection/alteration of outdoor planters/ponds/fountains on-grade at a height of not more than 600mm	24
	Repair/removal of outdoor planters/ponds/fountains on-grade at a height of not more than 1.1m	
Metal supporting frames for the growing of plants fixed to an external wall	Erection/alteration/repair/removal of metal supporting frames for the growing of plants - at a height of not more than 3m above the ground/roof - no part of the frame projects more than 300mm from the wall - the maximum loading of the frame together with the plants added to the wall is not more than 100kg per m ² of the wall area (the frame does not project over any street or common part of the building)	26

The descriptions in the table are simplified. For detailed descriptions of designated exempted works items, please visit the Buildings Department website at www.bd.gov.hk, and refer to the B(MW)R and the Technical Guidelines on Minor Works Control System.

► Simplified requirements

The carrying out of minor works can be commenced through the simplified requirements of the MWCS, without the need to obtain prior approval of plans and consent to the commencement of the works from the Buildings Department as required under section 14(1) of the Buildings Ordinance. Any person, whether the owner/occupant or his/her agent (for example the design company) is required to appoint prescribed registered contractors (PRC) to carry out all minor works. If the works involve Class I minor works, prescribed building professionals (PBP) shall also be appointed for the design and supervision of the works. The flow chart below shows the procedures for carrying out Class I, Class II and Class III minor works:



For the registers of PBP and PRC, please visit the Buildings Department website at www.bd.gov.hk.

Notes:

- ¹ PBP are authorized persons/registered inspectors* and (if required) registered structural engineers/registered geotechnical engineers.
** If the works are prescribed repair or any associated demolition works, a registered inspector may assume the role of an authorized person in respect of such works.*
- ² PRC are registered general building contractors or registered specialist contractors of respective registered category of specialized works or registered minor works contractors of respective registered classes/types/items of minor works.

► Addition of minor works items after commencement of works

After the submission of notice of commencement of Class I or Class II minor works, if additional Class I or Class II minor works items are required to be carried out during the construction period, the PBP or PRC should submit, at least 7 days before the commencement of those additional items, a notice of commencement of works (i.e. specified form MW11 or MW12) together with the prescribed plans and details of the works, and other documents to the Buildings Department. Within 14 days after the completion of the works, the PBP or PRC should submit a certificate of completion of works (i.e. specified form MW02 or MW04), record plans and other documents together with all other completed minor works items to the Buildings Department.

► Types of registered minor works contractors

Construction companies may apply for registration as Registered Minor Works Contractors (Company) (RMWC(Co)) and register by virtue of their working experience, qualifications and competence in each class of one or more of the following types of minor works (A to H):

- Type A - Alteration and Addition Works
- Type B - Repair Works
- Type C - Works relating to Signboards
- Type D - Drainage Works
- Type E - Works relating to Structures for Amenities
- Type F - Finishes Works
- Type G - Demolition Works
- Type H - Works relating to Ventilation System inside a Building

Individual practitioners may apply for registration as Registered Minor Works Contractors (Individual) (RMWC(Ind)) of the respective Class III minor works items (items 3.1 to 3.66) by virtue of their qualifications and experience.

► Appointment of prescribed registered contractors

In selecting PRC to carry out some typical minor works, building owners can refer to the table of Types of Minor Works on pages 26 to 28 and on the basis of the type, class and item no. of the minor works to appoint those relevant registered contractors registered for the respective class and type.

► Types of minor works

Class I									Class II									Class III								
Type									Type									Type								
Item no.	A	B	C	D	E	F	G	H	Item no.	A	B	C	D	E	F	G	H	Item no.	A	B	C	D	E	F	G	H
Metal gate at fence wall or at the entrance of building																										
1.16	•								2.16	•								3.13	•							
1.40	•							•	2.40	•							•	3.33	•							•
Planter/pond/fountain																										
1.52	•								2.52	•								3.52	•	•						
Trellis																										
1.45	•								2.44	•								3.44	•	•						
									2.45	•																
Removal of unauthorised structures on rooftop, flat roof, in yard and lane																										
1.38	•							•	2.39	•							•	3.32	•							•
Subdivision of a flat																										
1.41	•																	3.39	•							
1.42	•																	3.40	•							
1.43	•																	3.41	•							
1.44	•																	3.42	•							

Case 1

“Erection of canopy projecting more than 500 mm but not more than 2 m from the external wall of a building over an entrance to the building” is covered in minor works item 1.27. The owner or the appointed agent can choose to appoint the following persons in carrying out the works:

1. PBP; and
2. Registered general building contractors or RMWC(Co) registered for Type A or E Class I minor works.

Case 2

“Erection of an outdoor planter on grade with the height not more than 1.5m” is covered in minor works item 2.52. The owner or the appointed agent can choose to appoint the following persons in carrying out the works:

1. Registered general building contractors; or
2. RMWC(Co) registered for Type A Class II minor works.

Case 3

“Erection of a fire damper in a ventilation system” is covered in minor works item 2.42. The owner or the appointed agent can choose to appoint the following persons in carrying out the works:

1. Registered general building contractors; or
2. RMWC(Co) registered for Type H Class II minor works; or
3. Registered specialist contractor whose name is entered in the ventilation works category in the specialist contractors sub-register.

Case 4

“Removal of supporting frame for an air-conditioning unit projecting not more than 750 mm from the external wall” is covered in minor works item 3.26. The owner or the appointed agent can choose to appoint the following persons in carrying out the works:

1. Registered general building contractors; or
2. Registered specialist contractor (demolition works); or
3. RMWC(Co) registered for Type A, E or G Class III minor works; or
4. RMWC(Ind) registered for minor works item 3.26.

▶ Register of registered minor works contractors

For consideration of appointment of RMWC(Co) in carrying out Class I, Class II and/or Class III minor works, reference can be made to the RMWC(Co) Register on the Buildings Department website at www.bd.gov.hk and the selection should base on the class and type of minor works registered. The following is a typical example of the RMWC(Co) displayed on the website:

Registered Minor Works Contractors (Company)					
Company Name	Registration Number	Expiry Date	Class/Type	Name of Authorized Signatory with Registered Class/Type of Minor Works	
XYZ COMPANY	MWC 12/2010	31/12/2023	I, II, III/A, B, E	CHAN TAI-MAN	Class/Type: I, II, III/A, B, E
			II, III/D, F, G	CHAN SIU-MAN	Class/Type: II, III/D, F, G
Contact Information: XXXX XXXX					

For consideration of appointment of RMWC(Ind) in carrying out Class III minor works, reference can be made to the RMWC(Ind) Register on the Buildings Department website at www.bd.gov.hk and the selection should base on the items of minor works registered. The following is a typical example of the RMWC(Ind) displayed on the website:

Registered Minor Works Contractors (Individual)			
Contractor Name	Registration Number	Expiry Date	Items of Class III Minor Works
SHING KIN-SHEUNG	MWC(W) 123/2010	31/12/2023	3.2, 3.23, 3.24, 3.50
Contact Information: XXXX XXXX			
CHEUNG SIU-MING	MWC(W) 345/2010	31/12/2023	3.2, 3.26, 3.27, 3.34, 3.35, 3.50
Contact Information: XXXX XXXX			

► Submission of documents under simplified requirements

The PBP and PRC shall comply with the Buildings Ordinance and its subsidiary regulations, and prepare and timely submit the required documents to the Buildings Department. The documents mainly include the following:

1. Form

Specified forms for notice of commencement of works (seven days prior to commencement of works) for Class I and Class II minor works and certificate of completion of works (within 14 days after the completion of works) for all classes of minor works.

2. Plan

(a) Class I or Class II minor works

The plans and details prescribed in regulation 8 of the Building (Administration) Regulations.

(b) Class III minor works

The plans showing the works as completed or description of completed works.

3. Photograph

Photographs showing the physical condition of the premises immediately before the commencement and after the completion of the works.

4. Supervision plan

A supervision plan in accordance with the Technical Memorandum for Supervision Plans (only required for some Class I minor works).

Please refer to the Practice Note for Registered Contractors 71 issued by the Buildings Department for the requirements and guidelines on submission of the above documents.

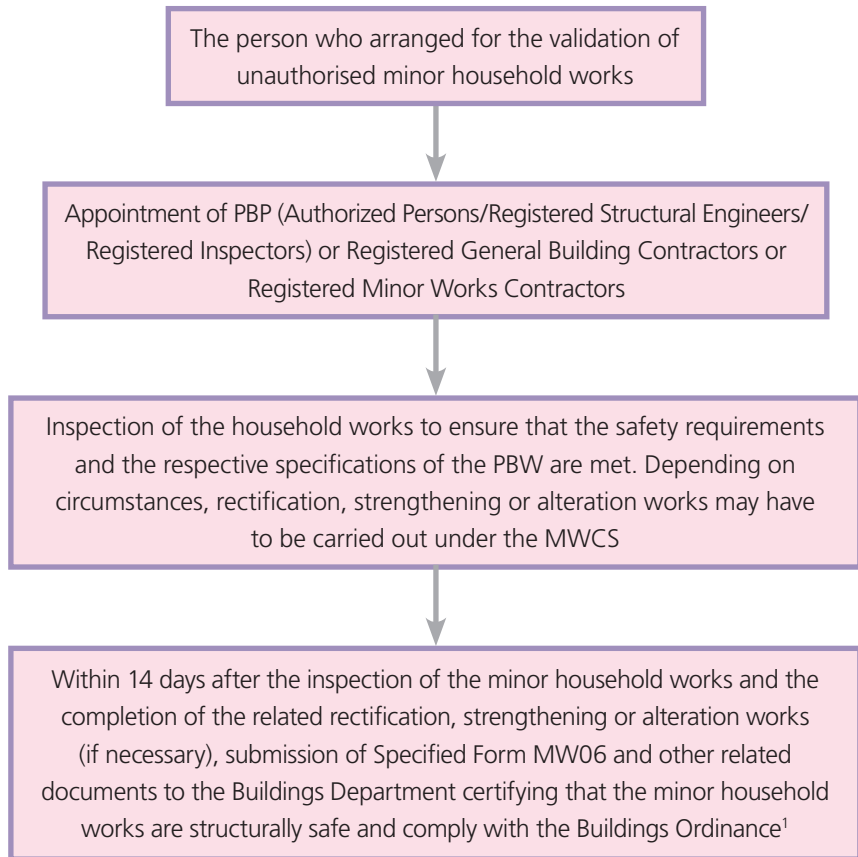
► Inspection and certification of prescribed building or building works (also known as “Household Minor Works Validation Scheme”)

A validation scheme is established under the MWCS to facilitate members of the public to retain, after validation, unauthorised minor household installations including air-conditioner supporting frames, drying racks and small canopies constructed before the implementation of the scheme. Those minor household installations that may be validated through the scheme are prescribed building or building works (PBW) under the B(MW)R. The following four items of unauthorised minor household works existed before 31 December 2010 are PBW under the scheme:

- supporting structures for air-conditioning units, water cooling towers or any associated air ducts located on-grade or on a slab (other than a cantilevered slab)
- supporting frames for air-conditioning units projecting from the external wall of a building
- drying racks projecting from the external wall of a building
- small canopies (not constructed of concrete) projecting from the external wall of a building

For detailed descriptions of the above four items of PBW, please visit the Buildings Department website at www.bd.gov.hk, and refer to the B(MW)R and the Technical Guidelines on Minor Works Control System.

Below is the flow chart for the validation of household minor works under the scheme:



Note:

¹ Except section 14(1) of the Buildings Ordinance and regulation 25 of the Building (Administration) Regulations.

Enforcement action for removing those validated minor household works will not be taken by the Buildings Department unless their safety conditions have changed which render immediate enforcement actions.

► Inspection of building records

The carrying out of minor works in existing buildings may involve alteration and addition works. The PBP or PRC should prepare the plans for minor works based on the information from the inspection of the actual condition of the related building and the available existing building records. The building records for existing buildings may be inspected at the Building Information Centre of the Buildings Department located at 2/F, Buildings Department Headquarters, North Tower, West Kowloon Government Offices, 11 Hoi Ting Road, Yau Ma Tei, Kowloon, or via the Building Records Access and Viewing On-line system in the Buildings Department website at bravo.bd.gov.hk. Copies of the building records will be issued upon application and payment of the prescribed fee.

Please visit www.bd.gov.hk/en/about-us/building-information-centre/index.html for details of the services.

► Legal obligation of the person who arranged the minor works to be carried out

The person, whether the owner/occupant or his/her agent, who arranged the minor works to be carried out is required by the Buildings Ordinance to appoint PBP and/or PRC to carry out the works. If the person who arranged the works to be carried out has knowingly failed to appoint the required personnel, that person may be liable to prosecution.

▶ Legal obligation of prescribed building professionals and prescribed registered contractors

The PBP and PRC appointed to carry out the minor works should comply with the provisions of the Buildings Ordinance and other enactments. The PRC should only carry out the classes and types or items of minor works for which they have been registered. If they contravene these requirements, they may be subject to prosecution and disciplinary action.

▶ Insurance

To safeguard the interests of the building owner/occupant or the appointed agent, the person who arranged the minor works to be carried out should ensure that the appointed PRC has procured all necessary insurance prior to commencement of works in order to minimise risk for any possible claim incurred from carrying out the minor works.

▶ Carrying out minor works at common parts of building

For minor works carried out at common parts of a building (such as external wall of a building), the person who arranged the works to be carried out or his/her appointed agent (including the PBP/PRC) should seek consent from all co-owners/incorporated owners and the management company of the building and observe all duties as stipulated in the deed of mutual covenant.

▶ Construction wastes

PRC shall take appropriate measures to ensure construction wastes are disposed of properly.

► Pay for Safety Scheme

The Pay for Safety Scheme was first introduced by the Government with an aim to ensure the contractors, with the employer's support, maintain a high standard of work safety and to prevent site safety from being compromised due to competitive tendering. Under the scheme, contractors are required to include in the tender the necessary safety-related items which will be paid for by the employer if the contractors have carried out the items satisfactorily. Failure in doing so will result in no payment. By means of this scheme, the Government aims to promote and encourage the practice of construction safety such that safety standard in construction sites would be enhanced.

► Supportive measures

The Buildings Department has put in place the following measures to facilitate implementation of the MWCS and to assist the public in understanding and using the system effectively:

- Provide technical guidelines and practice notes on minor works to the construction industry for reference.
- Distribute leaflets and general guidelines on minor works to members of the public, building owners and owners' corporations introducing the system to assist their understanding of the classification of minor works and the appointment of appropriate PBP and PRC for the carrying out of minor works.
- Provide mobile application for the public using mobile device to access the information related to the MWCS.
- Upload detailed information of the MWCS onto the Buildings Department website (www.bd.gov.hk) for the reference of the general public.
- Establish telephone hotlines to answer public enquiries.

► Enquiry

For any enquiries in connection with the MWCS, you may contact the Buildings Department by the following means:

- Postal address: G/F, Buildings Department Headquarters, North Tower, West Kowloon Government Offices, 11 Hoi Ting Road, Yau Ma Tei, Kowloon
- Email address: enquiry@bd.gov.hk
- Telephone hotline: 2626 1616 (Handled by “1823”)
- Enquiry service: G/F, Buildings Department Headquarters, North Tower, West Kowloon Government Offices, 11 Hoi Ting Road, Yau Ma Tei, Kowloon

You may download the mobile application MWCS-Quick Guide for Minor Works on App Store / Google Play to know more about the MWCS.



This pamphlet is not a legal document. It aims to introduce the main features of the MWCS to enhance the building owners' understanding on the system.