

# Minor Works Control System

for interior renovation /  
alteration and  
subdivision of a flat



## Minor Works Control System for interior renovation/alteration and subdivision of a flat

The Minor Works Control System (MWCS) aims to facilitate building owners and occupants in carrying out small-scale building works safely and lawfully through simplified statutory procedures and thereby improve the quality of such building works and building safety in Hong Kong.

### ▶ Minor works

A total of 187\* items of building works that are minor works are subjected to the control under the MWCS. The size, location and respective criteria of each item of minor works are set out in the Building (Minor Works) Regulation (B(MW)R). These minor works are classified into three classes according to their scale, complexity and risk to safety:

- Class I (a total of 58 items ) are mainly those relatively more complicated minor works
- Class II (a total of 68 items) are those of comparatively lower complexity and risk to safety
- Class III (a total of 61 items) mainly include common household and amenity minor works

Some of the minor works are associated with interior renovation/alteration and subdivision of a flat. The related trade practitioners can carry out those minor works in accordance with the simplified requirements of the MWCS.

For detailed descriptions of the 187 items of minor works, please visit the Buildings Department website at [www.bd.gov.hk](http://www.bd.gov.hk), and refer to the B(MW)R and the Technical Guidelines on Minor Works Control System.

Note:

- \* The B(MW)R was amended in 2012 (8 minor works items were added) and 2020. The Building (Minor Works) (Amendment) Regulation 2020 with effect from 1 September 2020 involve 9 repealed, 56 amended and 70 additional minor works items.

## ► Interior renovation/alteration and subdivision of a flat

Minor Works		Item <sup>1</sup>		
		Class I	Class II	Class III
Erection/alteration/removal of <b>supporting structures/metal casings for a building services installation (BSI)<sup>2</sup></b>	on-grade/ on a canopy/ on a roof/ on a cantilevered slab <sup>3</sup>	1.5, 1.50	2.2	3.2, 3.50
Erection/alteration/removal of <b>supporting frames for an air-conditioning unit/light fitting/antenna/transceiver</b>	projecting from an external wall of a building	1.28	2.31, 2.49	3.26, 3.27
Erection/alteration/removal of <b>external metal ventilation ducts/associated supporting frames</b>		1.5, 1.47	2.2, 2.31, 2.47	3.2, 3.47, 3.48, 3.49
Erection/alteration/repair/removal of <b>canopies/retractable awnings</b>		1.27	2.31, 2.43	3.25, 3.26, 3.38, 3.43
Erection/alteration/removal of <b>drying racks</b>				3.29, 3.30
Construction/alteration/repair/removal/replacement of <b>windows/window walls</b>		1.60	2.8, 2.9	3.6, 3.7
Repair/replacement of <b>curtain walls</b>		1.61		
Erection/alteration/removal/repair/replacement of <b>protective barriers</b>		1.6	2.5	3.3
<b>Repair of structural elements</b>		1.17	2.17	
Erection/repair/alteration/addition/removal of <b>drains</b>	aboveground		2.30	3.23, 3.24
	underground	1.25, 1.26, 1.36	2.28, 2.29, 2.36	
Erection/alteration/repair/removal of <b>external non-load bearing reinforced concrete walls/external block walls</b>		1.15	2.13, 2.14, 2.15	3.11, 3.12
Formation /reinstatement of <b>openings on external non-load bearing reinforced concrete walls/external block walls</b>				3.45, 3.46
Erection/alteration/repair/removal of <b>metal wind guards</b> for openings on an external wall of a building			2.41	
Strengthening of <b>unauthorised structures (supporting structures for air-conditioning units/water cooling towers/associated ducts, drying racks and canopies)</b>				3.34, 3.35, 3.36, 3.37
Removal of <b>unauthorised structures</b>		1.30, 1.38, 1.39	2.32, 2.38, 2.39	3.32
Erection/alteration/removal of <b>internal staircases</b>		1.1, 1.32		3.1
Formation/reinstatement of <b>slab openings</b>		1.2, 1.35	2.1, 2.35	

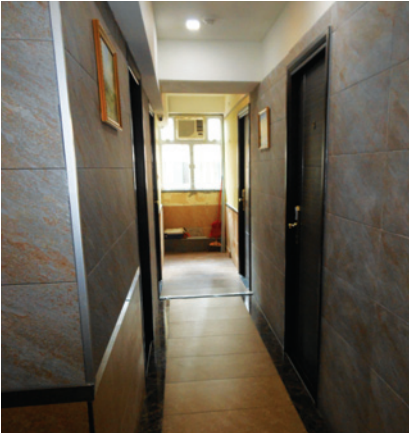
## ► Interior renovation/alteration and subdivision of a flat

Minor Works		Item <sup>1</sup>		
		Class I	Class II	Class III
Building works associated with the erection/alteration/removal of <b>service lifts/stairlifts/lifting platforms</b>	service lift	1.3, 1.33		
	stairlift or lifting platform	1.4, 1.34		
Erection of non-load bearing block walls, laying of solid floor screedings, or erection or alteration of aboveground drains in the <b>subdivision of a domestic flat</b> into 3 or more rooms, at least 3 of which are provided with lavatories or other sanitary fittings; and the resulting number of such rooms is greater than that shown on the original approved plan		1.41		
Formation or alteration of <b>openings to the enclosure (other than a load bearing wall) of staircase or its protected lobby</b>		1.42		
Erection of <b>non-load bearing block walls in a flat</b>		1.43		3.39, 3.40
<b>Thickening of floor slabs in a flat</b> by laying solid screedings		1.44		3.41, 3.42
Erection/repair/removal of <b>panel</b> fixed by metal dowels and fixings <b>onto a wall inside a building</b>		1.31	2.33	
Erection/alteration of <b>supporting frames for suspending an air-conditioning plant or a mechanical ventilation plant inside a building</b>		1.51		
Erection/alteration of <b>metal ventilation ducts/associated supporting frames inside a building</b>		1.46	2.46	
Erection/alteration of <b>fire dampers in ventilation system</b>			2.42	

For detailed descriptions, sizes, locations and respective requirements of each minor works item, please visit the Buildings Department website at [www.bd.gov.hk](http://www.bd.gov.hk), and refer to the B(MW)R and the Technical Guidelines on Minor Works Control System. The requirements of the minor works items generally involve restrictions related to structural safety. For example, the works should not result in any additional load to any cantilevered slab or the works should not involve the alteration of any other structural elements. For the location, if the works are located on a slab or roof, it may be required that the slab or roof should not be a cantilevered slab. The appointed prescribed building professional and/or prescribed registered contractor should ensure the works comply with all the requirements of the relevant minor works items.

## Notes:

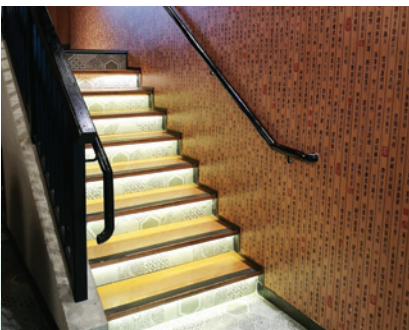
- 1 The numbers tabulated under "Item" denote the classes and item numbers of the minor works. For example, "1.5" denotes the item no. 5 under Class I minor works in the B(MW)R. Any alteration works must be read as including any strengthening works for that item. Any erection works must be read as including any replacement works for that item. Any removal works must be read as including any removal works for any structure that falls within the descriptions of that item and is an unauthorised structure.
- 2 Building services installation includes any solar water heating system, photovoltaic system (solar panel system), antenna, transceiver, air-conditioning unit, water cooling tower, light fitting and pump set (installations) and any duct associated with any of the installations but excludes any water tank, lift, stairlift, lifting platform, ventilation duct and radio base station.
- 3 For removal works only



Erection of non-load bearing block wall, thickening of floor slab by laying solid screeding, or erection or alteration of aboveground drain in a flat



Metal wind guard



Internal staircase



Building works associated with stairlift or lifting platform



Formation of wall opening



Panel fixed by metal dowels and fixings onto a wall inside a building



Supporting structure for an air-conditioning unit



Supporting frame for an air-conditioning unit



Window or window wall



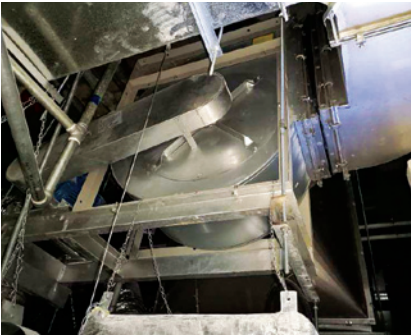
Retractable awning



Drying rack



Non-load bearing block wall



Supporting frame for a mechanical ventilation plant



Fire damper

## ▶ Exempted building works

Building works (other than minor works) that are carried out in a building are exempted building works under section 41(3) of the Buildings Ordinance if they do not involve the structure of the building. For these exempted works, prior approval of building plans and consent to the commencement of works from the Buildings Department are not required. Though not required to be carried out by prescribed registered contractors and supervised by prescribed building professionals, the works should not be carried out in contravention of the regulations (which specify the building design and construction standards in such aspects as fire safety, structural safety and drainage works) under the Buildings Ordinance. Common interior renovation/alteration works (other than minor works), such as painting, internal plastering or wall-paper works, repair or replacement of internal branch pipe (other than embedded pipe) or sanitary fitment works, or removal of non-load bearing partition walls which need not have fire resistance rating are exempted works under the Buildings Ordinance.

## ▶ Designated exempted works

Apart from the exempted works in general mentioned above, the MWCS also introduced 30 items of designated exempted works, of which the complexity and risk to safety are lower than that of the minor works. In accordance with the Buildings Ordinance, the designated exempted works may be commenced without obtaining prior approval of plans and consent to commencement of works from the Buildings Department, and without the need to appoint authorized persons and registered contractors for the carrying out of the works. The designated exempted works related to the interior renovation/alteration trades are listed on pages 8 and 9.



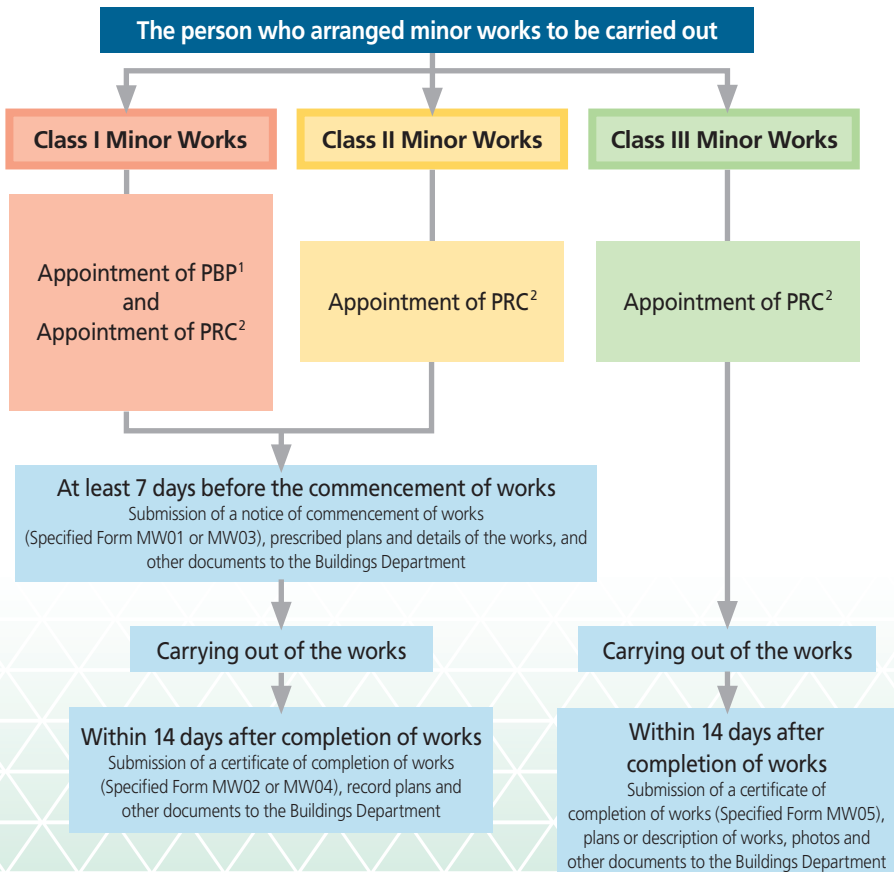
Works	Description of Designated Exempted Works		Item
Supporting structures/metal casings for a building services installation	Removal of supporting structures/metal casings resting on-grade/on a canopy/on a roof and the height of the supporting structure is not more than 1 m		12
Supporting frames for an air-conditioning unit/light fitting of weight not more than 100 kg	Erection/alteration/removal of supporting frames projecting from the external wall not more than 600 mm and at a height not more than 3 m above the ground/roof (the frames do not project over any street or common part of the building)		13
External metal ventilation ducts/ associated supporting frames	resting on-grade/ on a roof	Removal of ventilation ducts/ supporting frames - the height of the duct/frame is not more than 1 m	12
		Erection/alteration/removal of ventilation ducts/supporting frames - at a height not more than 900 mm above the ground/roof	22
	projecting from the external wall of a building	Erection/alteration/removal of ventilation ducts/supporting frames - projection not more than 750 mm - at a height not more than 3 m above the ground/roof (for erection or alteration works, the ducts/frames do not project over any street or common part of the building)	
	resting on the balcony/ verandah/ canopy	Erection/alteration/removal of ventilation ducts /supporting frames - the largest cross-sectional dimension not more than 750 mm - at a height not more than 3 m above the ground/roof - not more than 900 mm above the balcony/verandah/canopy (for erection or alteration works, the ducts/frames do not project over any street or common part of the building)	23

Works	Description of Designated Exempted Works		Item
External metal ventilation ducts/ associated supporting frames	hung underneath the soffit of a balcony/ verandah/ canopy	Erection/alteration/removal of metal ventilation ducts/associated supporting frames - the largest cross-sectional dimension not more than 750 mm - at a height not more than 3 m above the ground/roof (for erection or alteration works, the ducts/frames do not project over any street or common part of the building)	23
Light weight canopies	Erection/alteration/removal of non-concrete canopies at a height of not more than 3 m above the ground/ roof and no part of the canopies projects more than 500 mm from the wall (the canopies do not project over any street or common part of the building)		14
Drying racks	Erection/alteration/removal of drying racks at a height of not more than 3 m above the ground/ roof and no part of the racks projects more than 750 mm from the wall (the racks do not project over any street or common part of the building)		15
Metal window security grilles/ metal wind guards for an opening on an external wall	Erection/alteration/repair/removal of metal window security grilles/metal wind guards - at a height not more than 3 m above the ground/roof - no part of the grilles/guards projects more than 300 mm from the wall (the grilles/guards do not project over any street or common part of the building)		27
Small slab openings	Formation/reinstatement of small slab openings		1, 2

The descriptions in the table are simplified. For detailed descriptions of designated exempted works items, please visit the Buildings Department website at [www.bd.gov.hk](http://www.bd.gov.hk), and refer to the B(MW)R and the Technical Guidelines on Minor Works Control System.

## ► Simplified requirements

The carrying out of minor works can be commenced through the simplified requirements of the MWCS, without the need to obtain prior approval of plans and consent to the commencement of the works from the Buildings Department as required under section 14(1) of the Buildings Ordinance. Any person, whether the owner/occupant or his/her agent (for example the design company) is required to appoint prescribed registered contractors (PRC) to carry out all minor works. If the works involve Class I minor works, prescribed building professionals (PBP) shall also be appointed for the design and supervision of the works. The flow chart below shows the procedures for carrying out Class I, Class II and Class III minor works:



For the registers of PBP and PRC, please visit the Buildings Department website at [www.bd.gov.hk](http://www.bd.gov.hk).

Notes:

- <sup>1</sup> PBP are authorized persons/registered inspectors\* and (if required) registered structural engineers/registered geotechnical engineers.  
*\* If the works are prescribed repair or any associated demolition works, a registered inspector may assume the role of an authorized person in respect of such works.*
- <sup>2</sup> PRC are registered general building contractors or registered specialist contractors of respective registered category of specialized works or registered minor works contractors of respective registered classes/types/items of minor works.

## ► Addition of minor works items after commencement of works

After the submission of notice of commencement of Class I or Class II minor works, if additional Class I or Class II minor works items are required to be carried out during the construction period, the PBP or PRC should submit, at least 7 days before the commencement of those additional items, a notice of commencement of works (i.e. specified form MW11 or MW12) together with the prescribed plans and details of the works, and other documents to the Buildings Department. Within 14 days after the completion of the works, the PBP or PRC should submit a certificate of completion of works (i.e. specified form MW02 or MW04), record plans and other documents together with all other completed minor works items to the Buildings Department.

## ► Types of registered minor works contractors

Construction companies may apply for registration as Registered Minor Works Contractors (Company) (RMWC(Co)) and register by virtue of their working experience, qualifications and competence in each class of one or more of the following types of minor works (A to H):

- Type A - Alteration and Addition Works
- Type B - Repair Works
- Type C - Works relating to Signboards
- Type D - Drainage Works
- Type E - Works relating to Structures for Amenities
- Type F - Finishes Works
- Type G - Demolition Works
- Type H - Works relating to Ventilation System inside a Building

Individual practitioners may apply for registration as Registered Minor Works Contractors (Individual) (RMWC(Ind)) of the respective Class III minor works items (items 3.1 to 3.66) by virtue of their qualifications and experience.

## ► Appointment of prescribed registered contractors

In selecting PRC to carry out some typical minor works, one can refer to the table of Types of Minor Works on pages 13 to 15 and on the basis of the type, class and item no. of the minor works to appoint those relevant registered contractors registered for the respective type.









## Case 1

“Erection of an internal staircase that is not used as a means of escape or a means of access for firefighting and rescue” is covered in minor works item 1.1. The interior renovation/alteration practitioner or the appointed agent can choose to appoint the following persons in carrying out the works:

1. PBP; and
2. Registered general building contractors or RMWC(Co) registered for Type A Class I minor works.

## Case 2

“Erection of a fire damper in a ventilation system” is covered in minor works item 2.42. The interior renovation/alteration practitioner or the appointed agent can choose to appoint the following persons in carrying out the works:

1. Registered general building contractors; or
2. RMWC(Co) registered for Type H Class II minor works; or
3. Registered specialist contractor whose name is entered in the ventilation works category in the specialist contractors sub-register.

## Case 3

“Erection of any supporting structure for an air-conditioning unit/water cooling tower and associated ducts of not more than 200 kg in weight on-grade or on an accessible roof (other than a cantilevered slab) is covered in minor works item 3.50. The interior renovation/alteration practitioner or the appointed agent can choose to appoint the following persons in carrying out the works:

1. Registered general building contractors; or
2. RMWC(Co) registered for Type A or E Class III minor works; or
3. RMWC(Ind) registered for minor works item 3.50.

## ▶ Register of Registered Minor Works Contractors

For consideration of appointment of RMWC(Co) in carrying out Class I, Class II and/or Class III minor works related to interior renovation/alteration, reference can be made to the RMWC(Co) Register of the Buildings Department website at [www.bd.gov.hk](http://www.bd.gov.hk) and the selection should base on the class and type of minor works registered. The following is a typical example of the RMWC(Co) displayed on the Buildings Department website:

Registered Minor Works Contractors (Company)					
Company Name	Registration Number	Expiry Date	Class / Type	Name of Authorized Signatory with Registered Class/ Type of Minor Works	
XYZ COMPANY	MWC 12/2010	31/12/2023	I, II, III / A, B, E II, III / D, F, G	CHAN TAI-MAN	Class/Type: I, II, III / A, B, E
				CHAN SIU-MAN	Class/Type: II, III / D, F, G
Contact Information: XXXX XXXX					

For consideration of appointment of RMWC(Ind) in carrying out Class III minor works related to interior renovation/alteration, reference can be made to RMWC(Ind) Register of the Buildings Department website at [www.bd.gov.hk](http://www.bd.gov.hk) and the selection should base on the items of minor works registered. The following is a typical example of the RMWC(Ind) displayed on the Buildings Department website:

Registered Minor Works Contractors (Individual)			
Contractor Name	Registration Number	Expiry Date	Items of Class III Minor Works
SHING KIN-SHEUNG	MWC(W) 123/2010	31/12/2023	3.2, 3.23, 3.24, 3.50
Contact Information: XXXX XXXX			
CHEUNG SIU-MING	MWC(W) 345/2010	31/12/2023	3.2, 3.26, 3.27, 3.34, 3.35, 3.50
Contact Information: XXXX XXXX			

## ► Submission of documents under simplified requirements

The PBP and PRC shall comply with the Buildings Ordinance and its subsidiary regulations, and prepare and timely submit the required documents to the Buildings Department. The documents mainly include the following:

### 1. Form

Specified forms for notice of commencement of works (at least 7 days prior to commencement of works) for Class I and Class II minor works and certificate of completion of works (within 14 days after the completion of works) for all classes of minor works.

### 2. Plan

#### (a) Class I or Class II minor works

The plans and details prescribed in regulation 8 of the Building (Administration) Regulations.

#### (b) Class III minor works

The plans showing the works as completed or description of completed works .

### 3. Photograph

Photographs showing the physical condition of the premises immediately before the commencement and after the completion of the works.

### 4. Supervision plan

A supervision plan in accordance with the Technical Memorandum for Supervision Plans (only required for some Class I minor works).

Please refer to the Practice Note for Registered Contractors 71 issued by the Buildings Department for the requirements and guidelines on submission of the above documents.

## ► Inspection of building records

The carrying out of minor works in existing buildings may involve alteration and addition works. The PBP or PRC should prepare the plans for minor works based on the information from the inspection of the actual condition of the building concerned and the available existing buildings records. Members of the public may visit the Building Information Centre of the Building Department at 2/F, Buildings Department Headquarters, North Tower, West Kowloon Government Offices, 11 Hoi Ting Road, Yau Ma Tei, Kowloon for inspection of the approved plans of a building and records of the completed minor works, or browse the Building Records Access and Viewing On-line system website ([bravo.bd.gov.hk](http://bravo.bd.gov.hk)) for inspection online. Fees are payable for inspection of building records.

Please visit [www.bd.gov.hk/en/about-us/building-information-centre/index.html](http://www.bd.gov.hk/en/about-us/building-information-centre/index.html) for details of the services.

## ► Legal obligation of the person who arranged the minor works to be carried out

The person, whether the building owner/occupant or his/her agent, who arranged the minor works to be carried out is required by the Buildings Ordinance to appoint PBP and/or PRC to carry out the works. If the person who arranged the works to be carried out has knowingly failed to appoint the required personnel, that person may be liable to prosecution.

## ▶ Legal obligation of prescribed building professionals and prescribed registered contractors

The PBP and PRC appointed to carry out the minor works should comply with the provisions of the Buildings Ordinance and other enactments. The PRC should only carry out the classes and types or items of minor works for which they have been registered. If they contravene these requirements, they may be subject to prosecution and disciplinary action.

## ▶ Insurance

To safeguard the interests of the building owner/occupant or the appointed agent, the person who arranged the minor works to be carried out should ensure that the appointed PRC has procured all necessary insurance prior to commencement of the works in order to minimise the risk of any possible claim incurred from carrying out the minor works.

## ▶ Carrying out minor works at common parts of building

For minor works carried out in the common parts of a building (such as external wall of a building), the person who arranged the works to be carried out or his/her appointed person (including the PBP/PRC) should seek consent from all co-owners/incorporated owners and the management company of the building and observe all duties as stipulated in the deed of mutual covenant.

## ▶ Construction wastes

PRC shall take appropriate measures to ensure construction wastes are disposed of properly.

## ▶ Pay for Safety Scheme

The Pay for Safety Scheme was first introduced by the Government with an aim to ensure the contractors, with the employer's support, maintain a high standard of work safety and to prevent site safety from being compromised due to competitive tendering. Under the scheme, contractors are required to include in the tender the necessary safety-related items which will be paid for by the employer if the contractors have carried out the items satisfactorily. Failure in doing so will result in no payment. By means of this scheme, the Government aims to promote and encourage the practice of construction safety such that safety standards in construction sites would be enhanced.

## ► Supportive measures

The Buildings Department has put in place the following measures to facilitate implementation of the MWCS and to assist the public in understanding and using the system effectively:

- Provide technical guidelines and practice notes on minor works to the construction industry for reference.
- Distribute leaflets and general guidelines on minor works to members of the public, building owners and owners' corporations introducing the system to assist their understanding of the classification of minor works and the appointment of appropriate PBP and PRC for the carrying out of minor works.
- Provide mobile application for the public using mobile device to access the information related to the MWCS.
- Upload detailed information of the MWCS onto the Buildings Department website ([www.bd.gov.hk](http://www.bd.gov.hk)) for the reference of the general public.
- Establish telephone hotlines to answer public enquiries.

## ▶ Enquiry

For any enquiries in connection with the MWCS, you may contact the Buildings Department by the following means:

- Postal address: G/F, Buildings Department Headquarters, North Tower, West Kowloon Government Offices, 11 Hoi Ting Road, Yau Ma Tei, Kowloon
- Email address: enquiry@bd.gov.hk
- Telephone hotline: 2626 1616 (Handled by “1823”)
- Enquiry service: G/F, Buildings Department Headquarters, North Tower, West Kowloon Government Offices, 11 Hoi Ting Road, Yau Ma Tei, Kowloon

You may download the mobile application MWCS-Quick Guide for Minor Works on App Store / Google Play to know more about the MWCS.



This pamphlet is not a legal document. It aims to introduce the main features of the MWCS to enhance the industry's understanding of the system.