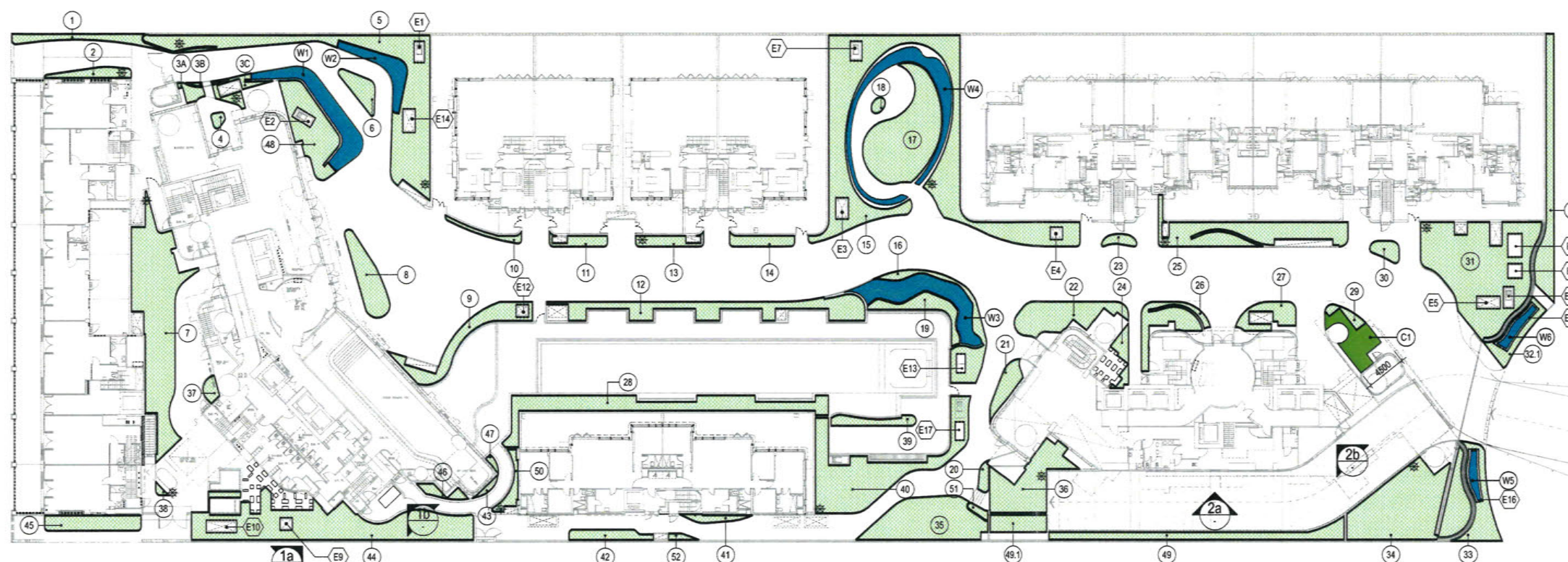
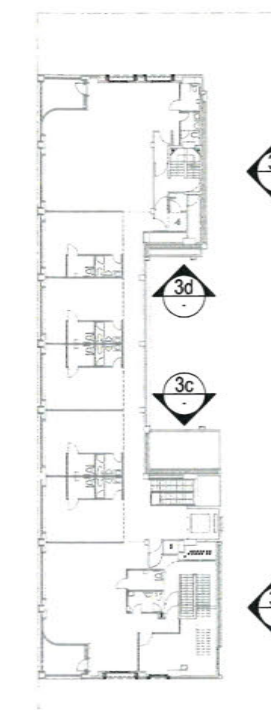




GROUND FLOOR AREA DIAGRAM



FIRST FLOOR AREA DIAGRAM
(COMMERCIAL BLOCK)

SITE COVERAGE OF GREENERY CALCULATION AT GROUND FLOOR

PLANTING AREA :

1 = 12.923 s.m.	16 = 24.760 s.m.	31 = 114.049 s.m.	46 = 4.486 s.m.
2 = 8.675 s.m.	17 = 68.685 s.m.	32 = 33.271 s.m.	47 = 1.151 s.m.
3 = 12.811 s.m.	18 = 2.037 s.m.	33 = 25.061 s.m.	48 = 37.928 s.m.
4 = 2.091 s.m.	19 = 14.751 s.m.	34 = 86.888 s.m.	49 = 31.237 s.m.
5 = 101.364 s.m.	20 = 3.355 s.m.	35 = 52.469 s.m.	50 = 5.966 s.m.
6 = 10.304 s.m.	21 = 10.193 s.m.	36 = 40.404 s.m.	51 = 1.972 s.m.
7 = 97.207 s.m.	22 = 32.396 s.m.	37 = 3.798 s.m.	52 = 1.707 s.m.
8 = 22.106 s.m.	23 = 3.973 s.m.	38 = 1.044 s.m.	32.1 = 17.956 s.m.
9 = 27.437 s.m.	24 = 6.879 s.m.	39 = 8.926 s.m.	49.1 = 12.320 s.m.
10 = 4.402 s.m.	25 = 49.928 s.m.	40 = 72.243 s.m.	3A = 3.816 s.m.
11 = 6.421 s.m.	26 = 21.516 s.m.	41 = 4.989 s.m.	3B = 0.455 s.m.
12 = 46.534 s.m.	27 = 13.162 s.m.	42 = 9.814 s.m.	3C = 6.831 s.m.
13 = 7.760 s.m.	28 = 56.004 s.m.	43 = 1.676 s.m.	
14 = 8.759 s.m.	29 = 4.190 s.m.	44 = 102.476 s.m.	
15 = 155.404 s.m.	30 = 5.934 s.m.	45 = 18.304 s.m.	

SUB TOTAL = 1530.388 s.m.

DEDUCT AREA :

E1 = 2.880 s.m.
E2 = 2.880 s.m.
E3 = 3.360 s.m.
E4 = 1.960 s.m.
E5 = 3.710 s.m.
E6 = 2.723 s.m.
E7 = 2.860 s.m.
E8 = 4.372 s.m.
E9 = 1.960 s.m.
E10 = 4.760 s.m.
E11 = 2.880 s.m.
E12 = 1.960 s.m.
E13 = 2.120 s.m.
E14 = 3.710 s.m.
E15 = 7.573 s.m.
E16 = 6.932 s.m.
E17 = 2.070 s.m.

SUB TOTAL = 58.710 s.m.

TOTAL = 1471.678 s.m.

WATER FEATURE AREA :

W1 = 29.683 x 50% = 14.842 s.m.
W2 = 14.222 x 50% = 7.111 s.m.
W3 = 33.279 x 50% = 16.640 s.m.
W4 = 32.943 x 50% = 16.472 s.m.
W5 = 4.142 x 50% = 2.071 s.m.
W6 = 4.670 x 50% = 2.335 s.m.
TOTAL = 59.471 s.m.

COVERED PLANTING AREA :

C1 = 17.713 x 50% = 8.857 s.m.
TOTAL = 8.857 s.m.

VERTICAL GREENING AREA :

V1a = 23.416 s.m.	V3a = 62.358 s.m.
V1b = 24.166 s.m.	V3b = 14.611 s.m.
V1c = 4.666 s.m.	V3c = 6.759 s.m.
V1d = 42.270 s.m.	V3d = 4.400 s.m.
V2a = 64.876 s.m.	V3e = 87.483 s.m.
V2b = 39.900 s.m.	V3f = 27.718 s.m.
	V3g = 20.961 s.m.
TOTAL = 418.918 s.m.	

TOTAL GREENERY AREA OF PRIMARY ZONE

$$= 1471.678 + 59.471 + 8.857 + 418.918$$
$$= 1958.924 \text{ s.m.}$$

LEGEND :

- PLANTING AREA
- COVERED PLANTING AREA
- WATER FEATURE AREA
- * IRRIGATION POINT LOCATION

REMARKS:-
ALL GREENERY AREA CALCULATION TO BE REFERRED TO APPROVAL PLAN DATED ON 4 DEC. 2020 AND RECORD PLAN SUBMITTED ON 26 JAN 2021. DWG. NO. GB083 (REV.G)

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Client

FANCY EXCELLENT LIMITED

Project

PROPOSED RESIDENTIAL
DEVELOPMENT AT NEW KOWLOON
INLAND, LOT NO. 6567, KAI TAK,
KOWLOON

Drawing Title

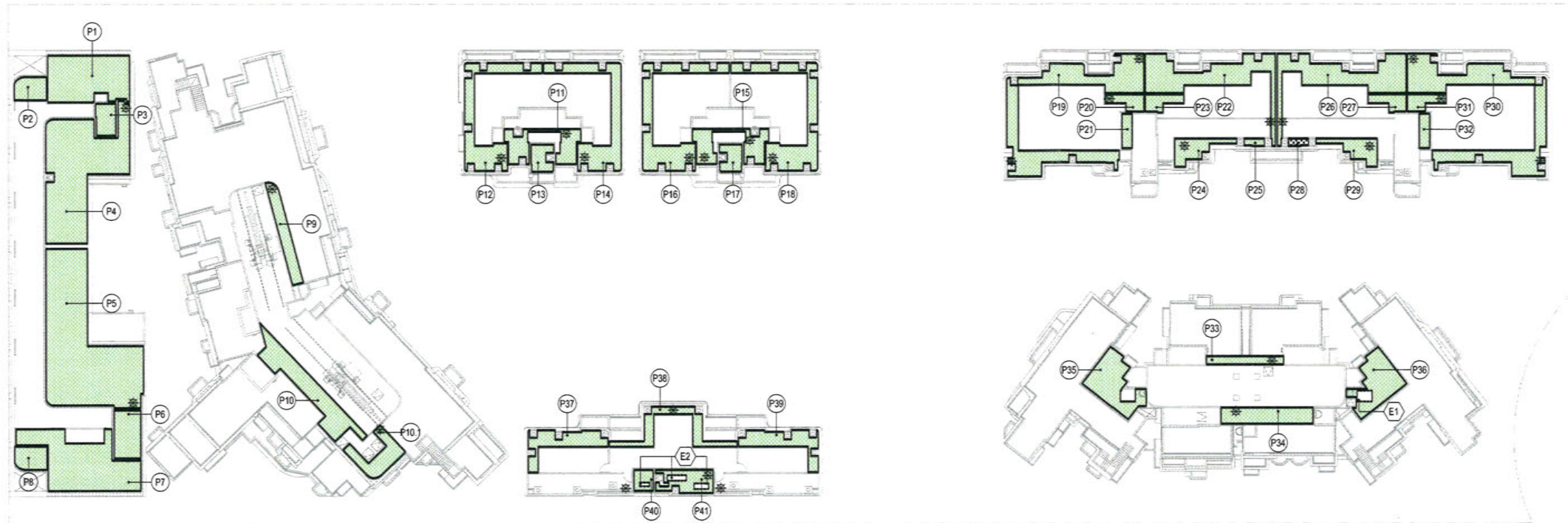
SCHEDULE OF
GREENERY AREA CALCULATION

Job No.	Drawing No.	Revision No.
01348	SK-01	-
Scale	Date	CAD Ref.
1:600	JAN 2021	
Drawn	Checked	Approved
RW	RW	AC

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1. GREENERY AREA DIAGRAM - PRIMARY ZONE



SITE COVERAGE OF GREENERY CALCULATION AT ROOF AREA

P1 = 43,960 s.m.	P21 = 4,190 s.m.	P41 = 13,669 s.m.
P2 = 8,706 s.m.	P22 = 39,544 s.m.	P10,1 = 14,213 s.m.
P3 = 7,495 s.m.	P23 = 5,869 s.m.	
P4 = 86,137 s.m.	P24 = 10,475 s.m.	
P5 = 118,772 s.m.	P25 = 1,714 s.m.	
P6 = 15,356 s.m.	P26 = 39,544 s.m.	
P7 = 57,695 s.m.	P27 = 5,869 s.m.	
P8 = 8,720 s.m.	P28 = 1,714 s.m.	
P9 = 13,957 s.m.	P29 = 10,475 s.m.	
P10 = 31,678 s.m.	P30 = 58,757 s.m.	
P11 = 16,701 s.m.	P31 = 5,860 s.m.	
P12 = 27,596 s.m.	P32 = 4,190 s.m.	
P13 = 6,398 s.m.	P33 = 7,605 s.m.	
P14 = 29,150 s.m.	P34 = 17,963 s.m.	
P15 = 16,641 s.m.	P35 = 23,846 s.m.	
P16 = 31,148 s.m.	P36 = 24,253 s.m.	
P17 = 6,398 s.m.	P37 = 15,722 s.m.	
P18 = 30,875 s.m.	P38 = 16,089 s.m.	
P19 = 58,631 s.m.	P39 = 15,722 s.m.	
P20 = 5,860 s.m.	P40 = 4,829 s.m.	

SUB TOTAL = 963,986 s.m.

DEDUCT AREA :

E1 = 1,930 s.m.
E2 = 2,660 s.m.

SUB TOTAL = 4,590 s.m.

TOTAL = 959,396 s.m.

TOTAL GREENERY AREA OF ROOF AREA = 959,396 s.m.

2. GREENERY AREA DIAGRAM - ROOF ZONE

LEGEND :

- PLANTING AREA
- COVERED PLANTING AREA
- WATER FEATURE AREA
- IRRIGATION POINT LOCATION

REMARKS:
ALL GREENERY AREA CALCULATION TO BE REFERRED
TO APPROVAL PLAN DATED ON 4 DEC. 2020 AND
RECORD PLAN SUBMITTED ON 26 JAN 2021. DWG. NO.
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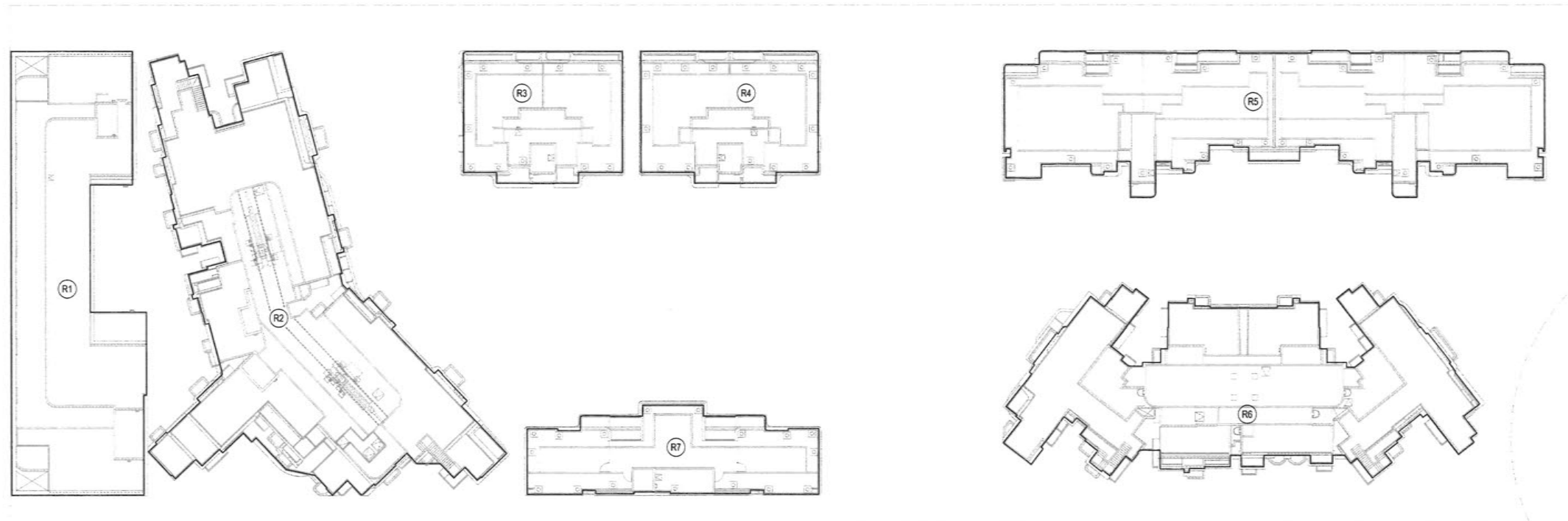
Project
PROPOSED RESIDENTIAL
DEVELOPMENT AT NEW KOWLOON
INLAND, LOT NO. 6567, KAI TAK,
KOWLOON

Drawing Title
SCHEDULE OF
GREENERY AREA CALCULATION

Job No.	Drawing No.	Revision No.
01348	SK-02	-
Scale	Date	CAD Ref.
1:600	JAN 2021	
Drawn	Checked	Approved
RW	RW	AC

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ROOF FLOOR AREA CALCULATION

R1 =	612.042 s.m.
R2 =	906.625 s.m.
R3 =	244.106 s.m.
R4 =	271.422 s.m.
R5 =	741.373 s.m.
R6 =	713.761 s.m.
R7 =	265.848 s.m.
TOTAL =	3755.177 s.m.

3. ROOF AREA DIAGRAM

B.D. Ref.
BD 2/4048/17
F.S.D. Ref.
FP 8/31041

Rev.	Date	Amendment	Purpose
1	20210503	FIRST ISSUE	

REMARKS:-
ALL GREENERY AREA CALCULATION TO BE REFERRED TO APPROVAL PLAN DATED ON 4 DEC. 2020 AND RECORD PLAN SUBMITTED ON 26 JAN 2021. DWG. NO. GB083 (REV.G)

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Client

FANCY EXCELLENT LIMITED

Project

PROPOSED RESIDENTIAL DEVELOPMENT AT NEW KOWLOON INLAND, LOT NO. 6567, KAI TAK, KOWLOON

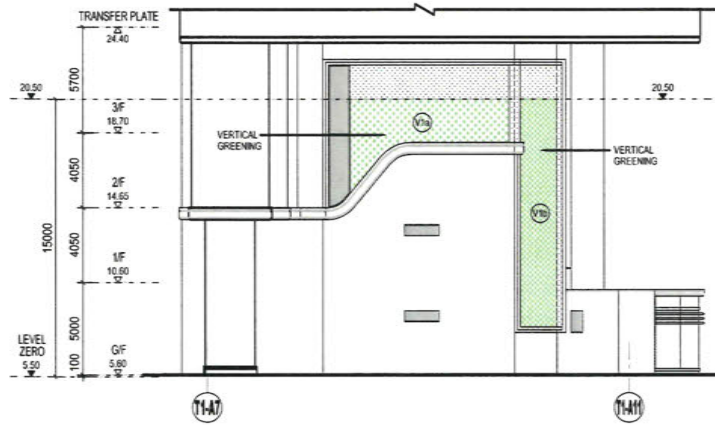
Drawing Title

SCHEDULE OF GREENERY AREA CALCULATION

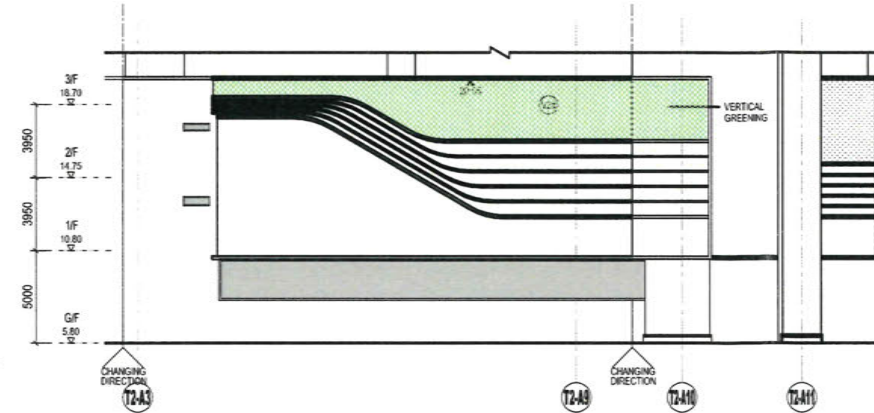
Job No.	Drawing No.	Revision No.
01348	SK-03	-
Scale	Date	CAD Ref.
1:600	JAN 2021	
Drawn	Checked	Approved
RW	RW	AC

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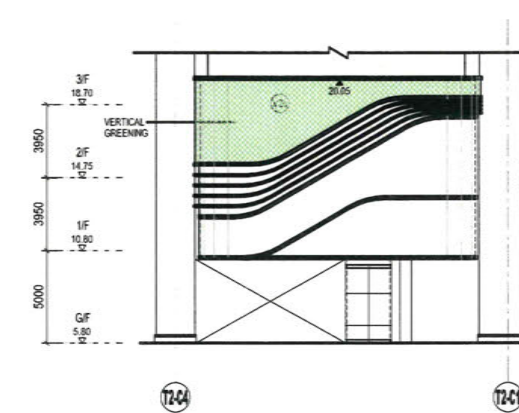
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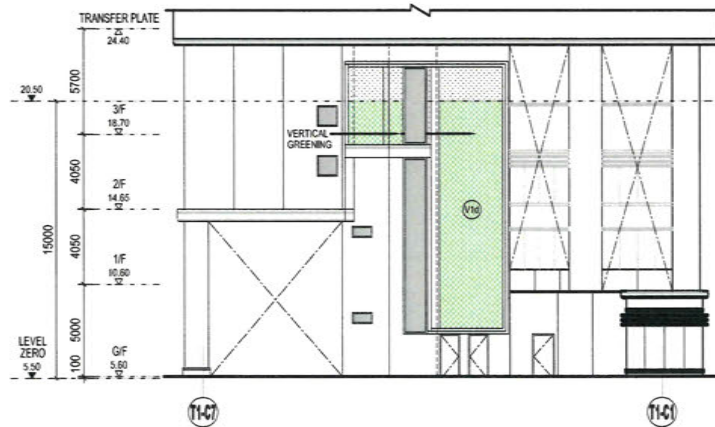
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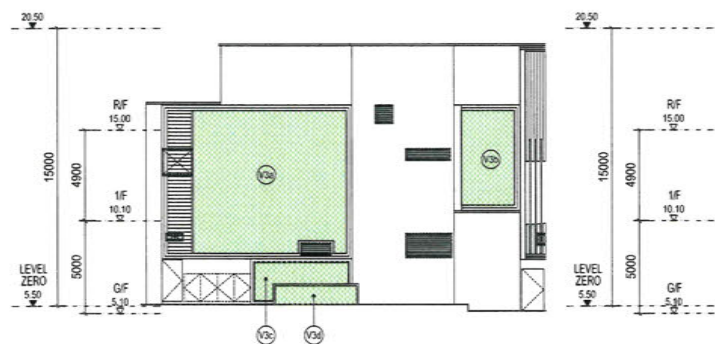
5. PART ELEVATION 1b (TOWER 1)



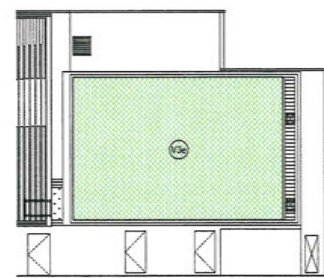
6. PART ELEVATION 2a (TOWER 2)



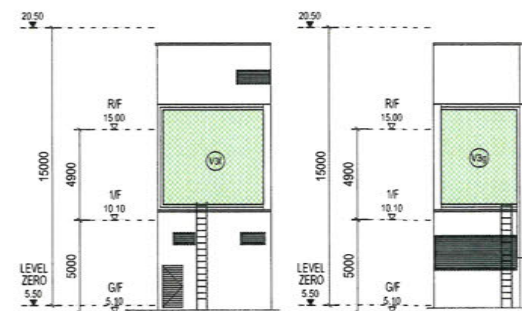
7. PART ELEVATION 2b (TOWER 2)



8. PART ELEVATION 3a
(COMMERICAL BLOCK)



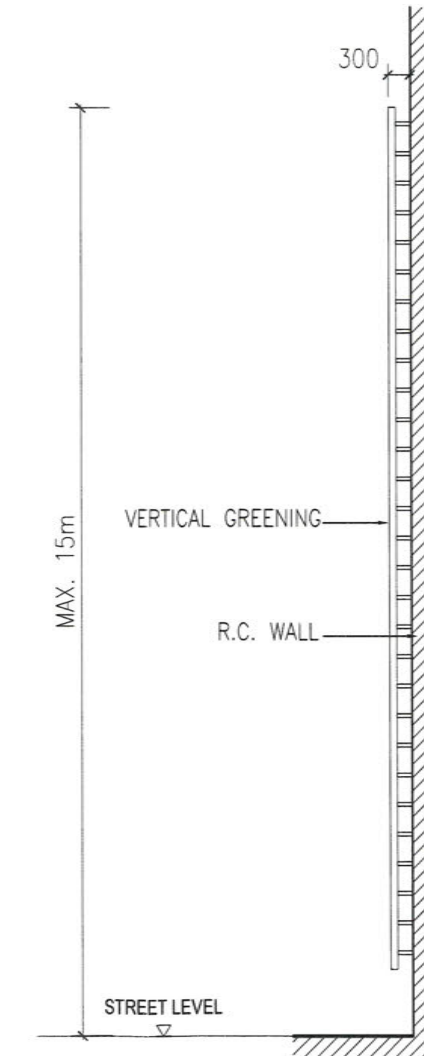
9. PART ELEVATION 3a
(COMMERICAL BLOCK)



10. PART ELEVATION 3c
(COMMERICAL BLOCK)



11. PART ELEVATION 3d
(COMMERICAL BLOCK)



12. TYPICAL DETAILS
FOR VERTICAL GREEN

REMARKS:-
ALL GREENERY AREA CALCULATION TO BE REFERRED
TO APPROVAL PLAN DATED ON 4 DEC. 2020 AND
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Client
FANCY EXCELLENT LIMITED

Project
PROPOSED RESIDENTIAL
DEVELOPMENT AT NEW KOWLOON
INLAND, LOT NO. 6567, KAI TAK,
KOWLOON

Drawing Title
SCHEDULE OF
GREENERY AREA CALCULATION

Job No.	Drawing No.	Revision No.
01348	SK-04	-
Scale	Date	CAD Ref.
1:400	JAN 2021	
Drawn	Checked	Approved
RW	RW	AC

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UNDER APP-152

GREENERY AREA CALCULATION

(SHALL BE COMPLIED WITH APP-152)

SITE AREA	=	9721 s.m. < 20000 s.m.
REQUIRED GREENERY AREA AT PRIMARY ZONE	=	10% (UNDER APP-152)
REQUIRED TOTAL SITE COVERAGE OF GREENERY	=	20% (UNDER APP-152)

COVERAGE OF GREENERY ON PRIMARY ZONE:

(SHALL BE COMPLIED WITH APP-152)

ACTUAL SITE COVERAGE OF GREENERY	=	$\frac{\text{GREENERY AREA ON GROUND FLOOR}}{\text{SITE AREA}} \times 100\%$
	=	$\frac{1958.924}{9721} \times 100\%$
	=	20.151 % > 10% (REQUIRED COVERAGE ON PRIMARY ZONE)

SITE COVERAGE OF GREENERY :

(SHALL BE COMPLIED WITH APP-152)

ACTUAL SITE COVERAGE OF GREENERY	=	$\frac{\text{GREENERY AREA ON GROUND FLOOR}}{\text{SITE AREA}} \times 100\%$
	=	$\frac{1958.924}{9721} \times 100\%$
	=	20.151 % > 20% (REQUIRED TOTAL SITE COVERAGE OF GREENERY)

GREENING FEATURES :

(SHALL BE COMPLIED WITH APP-152)

ACTUAL SITE COVERAGE OF GREENERY	=	$\frac{\text{GREENING FEATURES AREA}}{\text{TOTAL REQUIRED GREENERY AREA}} \times 100\%$
	=	$\frac{59.471 + 8.857 + 418.918}{9721 \times 20\%} \times 100\%$
	=	$\frac{487.246}{1944.200} \times 100\%$
	=	25.062 % < 30% OF THE TOTAL REQUIRED GREENERY AREA

13. CALCULATION OF GREENERY

UNDER LEASE CONDITION

GREENERY AREA CALCULATION

SITE AREA	=	9721 s.m. < 20000 s.m.
REQUIRED TOTAL SITE COVERAGE OF GREENERY	=	30% (UNDER LEASE CONDITION)
REQUIRED GREENERY AREA AT PRIMARY ZONE	=	66% OF TOTAL COVERAGE OF GREENERY (UNDER LEASE CONDITION)
REQUIRED GREENERY ON ROOF AREA	=	20% OF ROOF AREA (UNDER LEASE CONDITION)

SITE COVERAGE OF GREENERY :

ACTUAL SITE COVERAGE OF GREENERY	=	$\frac{\text{GREENERY AREA ON GROUND FLOOR \& ROOF FLOOR}}{\text{SITE AREA}} \times 100\%$
	=	$\frac{1958.924 + 959.396}{9721} \times 100\%$
	=	$\frac{2918.320}{9721} \times 100\%$
	=	30.021 % > 30% (REQUIRED TOTAL SITE COVERAGE OF GREENERY)

COVERAGE OF GREENERY ON PRIMARY ZONE:

ACTUAL SITE COVERAGE OF GREENERY	=	$\frac{\text{GREENERY AREA ON GROUND FLOOR}}{\text{TOTAL SITE COVERAGE OF GREENERY}} \times 100\%$
	=	$\frac{1958.924}{1958.924 + 959.396} \times 100\%$
	=	$\frac{1958.924}{2918.320} \times 100\%$
	=	67.125 % > 66% (REQUIRED COVERAGE ON PRIMARY ZONE)

COVERAGE OF GREENERY ON ROOF AREA:

ACTUAL SITE COVERAGE OF GREENERY ON ROOF	=	$\frac{\text{GREENERY AREA ON ROOF}}{\text{TOTAL ROOF FLOOR AREA}} \times 100\%$
	=	$\frac{959.396}{3755.177} \times 100\%$
	=	25.549 % > 20% (REQUIRED COVERAGE ON ROOF AREA)

B.D. Ref:
BD 2/4048/17
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FP 8/31041

Rev.	Date	Amendment	Purpose
-	2010560	FIRST ISSUE	-

REMARKS:-
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Client:
FANCY EXCELLENT LIMITED

Project:
PROPOSED RESIDENTIAL DEVELOPMENT AT NEW KOWLOON INLAND, LOT NO. 6567, KAI TAK, KOWLOON

Drawing Title:
SCHEDULE OF GREENERY AREA CALCULATION

Job No.	Drawing No.	Revision No.
01348	SK-05	-
Scale	Date	CAD Ref.
-	JAN 2021	-
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