GENERAL NOTES :

1. CODE OF PRACTICE FOR FIRE SAFETY IN BUILDING 2011 TO BE COMPLIED WITH.
2. DESIGN MANUAL BARRIER FREE ACCESS 2008 TO BE COMPLIED WITH.

FIRE SERVICES NOTES :

Fire Hydrant/Hose Reel System

1. Fire hydrant/hose reel system shall be provided for the entire building in accordance with FSI Code and Circular Letter no. 2/2013.
2. One 36m3 FS tank with FS pump set shall be provided on B1/F.
3. There shall be sufficient hydrants and hose reels on each floor to ensure that every part of the building can be reached by a length of not more than 30m of Fire Services hose and hose reel tubing.
4. All FS inlets shall be inter-connected.

Sprinkler System

1. Sprinkler system shall be provided in accordance with the LPC Rules incorporating BS EN 12845: 2003, Circular Letters no. 3/2006 and 3/2012 to protect the G/F-2/F except E & M plant rooms.
2. The hazard group of the sprinkler system :-
   - OH 3 for basement floors to 2/F;
   - OH 1 for 3/F to 22/F.
3. One 107m3 sprinkler water tank and sprinkler pump set shall be provided on B2/F.
4. Sprinkler system signal shall be transmitted to the Fire Services Communications Centre via a direct telephone link.
5. Fast response type sprinkler heads shall be provided for the basement floors.
6. Fast response type sprinkler heads shall be provided and extended to 2 floors above/below non-domestic floors (3/F-4/F) for staircase connecting the domestic and non-domestic portion of the development.

Fire Alarm System

Fire alarm system shall be provided to the entire building. One actuating point and one audio warning device shall be provided at each hose reel point. Visual fire alarm system shall be provided in accordance with current Design Manual: Barrier Free Access 2008 and Circular Letter no. 2/2012. This actuating point shall include facilities for fire pump start and audio/visual warning device initiation.

Fire Detection System

1. Fire detection system shall be provided in accordance with BS 5839 Part I: 2002 + A2: 2008, Circular Letters no. 1/2009, 3/2010 and 2/2012 as follows: -
   - smoke detectors shall be provided in area not covered by automatic fixed installation.
   - heat detectors shall be provided for all E/M plant rooms of the entire building / G/F to 2/F.
   - the entire basement area shall be covered by fire detection system except car parking area.
2. Main fire alarm panel shall be provided inside the Fire Control Centre. All fire alarm signals including manual and AFA signals shall be connected to Fire Services Communications Centre through direct telephone link.

Emergency Generator

An independently powered generator of sufficient electrical capacity shall be provided to meet the fire service installations and fireman's lifts.

Secondary power supply

The secondary electricity supply shall be arranged to be tee-off before the incoming main switch for the essential FSI service.

Exit Sign

Sufficient directional sign and exit sign shall be provided to ensure that all exit routes from any floor within the building are clearly indicated as required by the configuration of staircases serving the building / public areas to staircases are clearly indicated in accordance with FSI Code and Circular Letter no. 5/2008.

Emergency Lighting

Sufficient emergency lightings shall be provided throughout the entire building and all exit routes leading to ground level / to all staircases, passages and public areas including lift lobbies on all floors and refuge areas in accordance with FSI Code, BS 5266 Part I: 2011 and BS EN 1838: 2013.

Portable Hand-operated Approved Appliance

Portable fire extinguishers shall be provided as indicated on plan.

Ventilation/Air Conditioning Control System

A ventilation / air conditioning control system shall be provided to stop mechanically induced air movement within a designated fire compartment.

Fire Shutter

Fire shutters shall be provided as indicated on plans and operated by smoke detectors and the manual control devices on both sides of wall opening for automatic and manual operation respectively in accordance with FSI Code.

FS Requirement for Open Kitchen

1. Smoke detector(s) fitted with sounder base shall be provided inside the flat with open kitchen. The alarm signal of the smoke detector(s) shall be connected to the local fire services control panel of the building and shall not be linked to Fire Services Communications Centre.
2. Smoke detector(s) shall be provided at the common area outside the flat with open kitchen. The alarm signal of the smoke detector(s) shall be connected to the local fire services control panel and Fire Services Communications Centre.
3. Sprinkler head(s) shall be provided to cover the notional open kitchen area. The alarm signal of the system shall be connected to the local fire services control panel and the Fire Services Communications Centre.

COLOUR INDICATION :

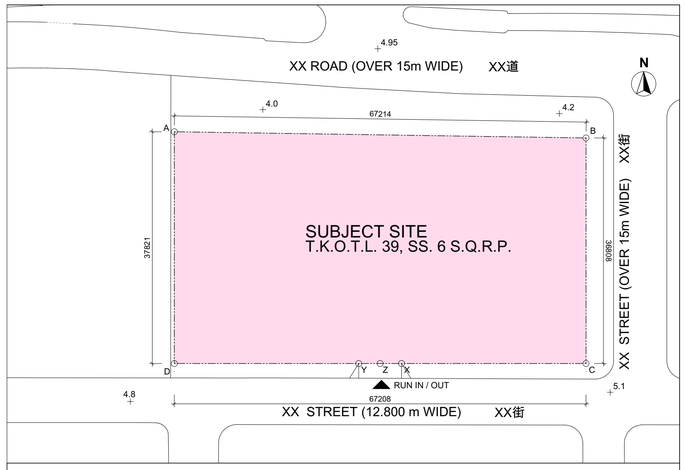
COLOUR	RGB COLOUR	MATERIAL / DESCRIPTION
	204,178,102	HARDCORE OR DRY FILL
	255,63,0	BRICK
	223,255,127	CONCRETE SLAB (LIGHTER WASH)
	0,76,38	CONCRETE (PLAIN OR REINFORCED)
	127,223,255	SOLID CONCRETE BLOCKS
	191,127,255	HOLLOW CONCRETE BLOCKS
	255,191,127	LIGHTWEIGHT PARTITION
	204,204,102	PLASTER OR CEMENT RENDERING
	255,127,223	IMPERMEABLE / NON-ABSORBENT FLOOR OR WALL
	127,255,255	GLASS
	153,133,76	TIMBER
	233,127,255	METAL WORK OR STEEL
	173,173,173	STONE FINISH
	255,255,0	SANITARY FITTINGS
	0,63,255	DEMOLITION WORKS / DELETION OF APPROVED WORKS
	204,0,51	UNDERLINE FOR REVISION
	255,164,25	ACCOUNTABLE DOMESTIC GFA
	227,100,102	ACCOUNTABLE NON-DOMESTIC GFA
	191,0,255	DISREGARDED GFA NOT SUBJECT TO THE OVERALL CAP OF 10% a) CONCESSION ITEMS SPECIFIED IN PNAP APP-151 (OTHER THAN CARPARK, LOADING AND UNLOADING AREAS)
	222,184,135	DISREGARDED GFA NOT SUBJECT TO THE OVERALL CAP OF 10% b) CARPARK, LOADING AND UNLOADING AREAS AND OTHERS
	30,144,255	DISREGARDED GFA SUBJECT TO THE OVERALL CAP OF 10% a) CONCESSION ITEMS SPECIFIED IN PNAP APP-151
	144,214,236	DISREGARDED GFA SUBJECT TO THE OVERALL CAP OF 10% b) OTHERS

LEGEND :

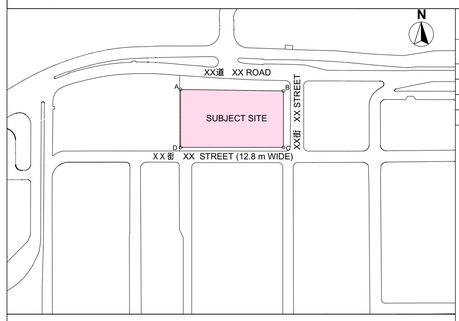
	SFL (STRUCTURAL FLOOR LEVEL)
	FFL (FINISHED FLOOR LEVEL)
D	ACCESSIBLE FACILITIES FOR PERSONS WITH A DISABILITY
AT	ACCESSIBLE UNISEX TOLIET
AU	ACCESSIBLE URINAL
	LEVEL DIFFERENCE
	DROP KERB
OW	OPENABLE WINDOW
	IRRIGATION POINT
	EV CHARGING STATION
	NON-STRUCTURAL PREFABRICATED WALL

LEGEND FOR F.S. EQUIPMENT :

EXIT	EXIT SIGN AT HIGH LEVEL
HR	HOSE REEL
A	FIREMAN'S LIFT
E	NO PARKING SIGN
E	EVA LAYOUT SIGN
FSI	FIRE SERVICE INLET
CP	CONTROL PANEL
FE	4.5 kg CO_2 FIRE EXTINGUISHER
FEH	9.0 L H_2O FIRE EXTINGUISHER
FH	FIRE HYDRANT
SB	SAND BUCKET
FB	FIRE BLANKET
SFH	STREET FIRE HYDRANT
FSAP	FIRE SERVICES ACCESS POINT
	F.S. SHUTTER



BLOCK PLAN 1 : 500



LOCATION PLAN 1 : 2000

BOUNDARY COORDINATES
Hong Kong 1980 Grid Coordination

POINT	E (m)	N (m)
A	840500.821	816511.001
B	840499.808	816578.208
C	840463.000	816578.208
D	840463.000	816511.000

BD REF	2/1234/18
BIM REF	2-1234-18-A21-01
FSD REF	FP 8/

Rev.	Date	Amendment	Purpose

9/11/2019 3:51 PM

PROJECT
BD SAMPLE - PROPOSED 20-STOREY RESIDENTIAL BUILDING OVER 3-STOREY PODIUM AT TKO

DRAWING TITLE
SITE PLAN AND NOTES

SCALE N.T.S.(A1)

DRAWING NO. A001 REV. NO. -

SOURCE

90mm (W) x 40mm (H) space for COMPANY LOGO

90mm (W) x 60mm (H) space for AP/RSE/RGE's signature/ and stamp chop

90mm (W) x 150mm (H) space for BD's approval stamp / certification of copies of approved plans (PNAP ADM-10 APP A)

DOOR & FIRE SHUTTER MARKS :

D1	-/60/60 F.R.R. SELF CLOSING DOOR
D2	-/60/60 F.R.R. SELF CLOSING DOOR WITH SMOKE SEAL
D3	-/60/60 F.R.R. SELF CLOSING DOOR WITH F.R.R. TRANSPARENT GLASS UPPER PANEL
D4	-/60/60 F.R.R. SELF CLOSING DOOR WITH F.R.R. TRANSPARENT GLASS UPPER PANEL AND SMOKE SEAL
D5	-/120/120 F.R.R. SELF CLOSING DOOR WITH F.R.R. TRANSPARENT GLASS UPPER PANEL
D6	-/120/120 F.R.R. SELF CLOSING DOOR WITH F.R.R. TRANSPARENT GLASS UPPER PANEL AND SMOKE SEAL
D7	-/120/120 F.R.R. SELF CLOSING DOOR
D8	-/120/120 F.R.R. SELF CLOSING DOOR WITH SMOKE SEAL
D9	-/120/120 F.R.R. SELF CLOSING LIFT SHAFT EMERGENCY ACCESS DOOR WITH SMOKE SEAL
D10	-/-/- F.R.R. SELF CLOSING DOOR WITH SMOKE SEAL
D11	-/-/- F.R.R. SELF CLOSING DOOR WITH TRANSPARENT GLASS UPPER PANEL AND SMOKE SEAL
D12	-/-/- F.R.R. GLASS PANEL DOOR
D13	-/60/60 F.R.R. GLASS PANEL DOOR
D14	-/60/60 F.R.R. SELF CLOSING DOOR WITH PANIC BOLT-ON INSIDE
D15	-/-/- F.R.R. DOOR WITH PANIC BOLT-ON INSIDE
D16	-/60/60 F.R.R. METAL DOOR
D17	-/120/120 F.R.R. METAL DOOR
D18	-/-/- F.R.R. DOOR
D19	-/-/- F.R.R. DOOR FOR MAINTENANCE ONLY
D20	-/120/- F.R.R. LIFT LANDING DOOR
D21	-/60/- F.R.R. STEEL LOUVRES DOOR
D22	-/120/120 F.R.R. ACCESS PANEL WITH SMOKE SEAL
D32	DOOR WITH FIXED LOUVRE PANEL WITH A MINIMUM SIZE OF 1/20 OF THE FLOOR AREA OF THE ROOM
R1	-/120/- HORIZONTAL FIRE SHUTTER
R2	-/120/- F.R.R. STEEL FIRE SHUTTER
R3	-/60/60 F.R.R. STEEL FIRE SHUTTER
R4	-/240/- F.R.R. STEEL FIRE SHUTTER
R5	-/240/240 F.R.R. STEEL FIRE SHUTTER

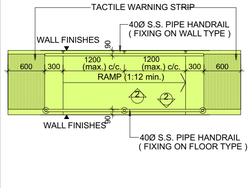
Abbreviation	Full Name
@H/L	AT HIGH LEVEL
@L/L	AT LOW LEVEL
ACPF	AIR CONDITIONER PLATFORM
ACPR	AIR CONDITIONING PLANT ROOM
AF	ARCHITECTURAL FEATURE
AHU	AIR HANDLING UNIT ROOM
AP	ACCESS PANEL
BAL	BALCONY
BHR	BUILDING HEIGHT RESTRICTION
BR	BEDROOM
C/C	CENTRE TO CENTRE
CAP	CAPACITY
CB	CANTILEVERED BEAM
CL	CAT LADDER
CLA	COVERED LANDSCAPE AREA
CLD	CLADDING
CMC	CHECK METER CABINET
COA	COMMON AREA
COF	COMMON FLAT ROOF
CORR	CORRIDOR
CS	CANTILEVERED SLAB
CSB	CANTILEVERED SLAB BALCONY
CSC	COVERED SURFACE CHANNEL
CW	CURTAIN WALL
CWPR	CLEANSING WATER PUMP ROOM
DG	DANGEROUS GOODS STORE
DI	DRENCHER INLET
DOM	DOMESTIC
DR	DOOR
EGR	EMERGENCY GENERATOR ROOM
ELR	ELECTRIC ROOM
ENT	ENTRANCE
EVCR	ELECTRIC VEHICLE CHARGER ROOM
FAI	FRESH AIR INLET
FBG	FIBREGLASS
FCC	FIRE CONTROL CENTRE
FCG	FIXED CLEAR GLASS
FLA	FLUE APERTURE
FLAV	FEMALE LAVATORY
FLL	FIREMAN LIFT LOBBY
FMCR	FEMALE CHANGING ROOM
FPR	FILTRATION PLANT ROOM
FS	FIRE SERVICE
FSCR	FIRE SERVICE CONTROL ROOM
GB	GLASS BALUSTRADE
GMC	GAS METER CABINET / CHAMBER
GW	GLASS WALL

Abbreviation	Full Name
GYM	GYMNASIUM
ICOF	INACCESSIBLE COMMON FLAT ROOF (FOR MAINTENANCE ONLY)
IFR	INACCESSIBLE FLAT ROOF (FOR MAINTENANCE ONLY)
IRR	IRRIGATION
KIT	KITCHEN
L/UL	LOADING / UNLOADING
LAV	LAVATORY
LCL	LOCKABLE CAT LADDER
LFS	LIFT SHAFT
LIV / DIN	LIVING & DINING
LL	LIFT LOBBY
LMR	LIFT MACHINE ROOM
M BATH	MASTER BATHROOM
MB	METAL BALUSTRADE
MBR	MASTER BED ROOM
MCR	MALE CHANGING ROOM
MFXR	MULTI FUNCTION ROOM
ML	METAL LOUVRE
MLAV	MALE LAVATORY
MSFL	MEAN SITE FORMATION LEVEL
MSL	MEAN STREET LEVEL
MVAL	MECHANICAL VENTILATION & ARTIFICIAL LIGHTING
MW	MAINTENANCE WINDOW
NDOM	NON-DOMESTIC
O KIT	OPEN KITCHEN
OCO	OWNERS' COMMITTEE OFFICE
P	PLANTER
PAU	PRIMARY AIR HANDLING UNIT
PD	PIPE DUCT
PFWTPR	POTABLE & FLUSHING WATER TANK & PUMP ROOM
PRM	PUMP ROOM
PRPW	PARAPET WALL
RC	REINFORCED CONCRETE
RHP	RECTANGULAR HORIZONTAL PLANE
RM	ROOM
RRF	RESIDENTS' RECREATIONAL FACILITIES
RSMRC	REFUSE STORAGE & MATERIAL RECOVERY CHAMBER
RSMRR	REFUSE STORAGE & MATERIAL RECOVERY ROOM
RT	ROOF TILES WITH WATERPROOF MEMBRANE FELT ON CEMENT SAND SCREEDING LAID TO FALL

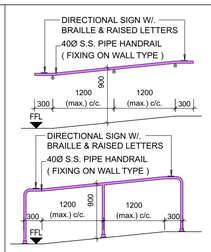
Abbreviation	Full Name
SCLD	STONE CLADDING
SC	SITE COVERAGE
SFH	STREET FIRE HYDRANT
SH	SHOWER
SI	SPRINKLER INLET
SKP	SUNKEN PLANTER
SML	SMOKE LOBBY
SPR	SPRINKLER
SS	STAINLESS STEEL
STO	STORE
SVI	SMOKE VENT INLET
SVO	SMOKE VENT OUTLET
SWMP	SWIMMING POOL
T/	TOP OF
TBE	TELECOMMUNICATION AND BROADCASTING EQUIPMENT
TD	TRAVEL DISTANCE
TDR	TRAP DOOR
TL	TOP LEVEL
TLD	TELEPHONE DUCT
TOS	TOP OF SOIL
TP	TRANSFER PLATE
TPA	TRANSFER PLATE ABOVE
TPB	TRANSFER PLATE BELOW
TRS	TEMPORARY REFUGE SPACE
TX	TRANSFORMER
UFA	USABLE FLOOR AREA
UFS	USABLE FLOOR SPACE
UP	UTILITY PLATFORM
UTR	UTILITY ROOM
WC	WATER CLOSET
WL	WATER LEVEL
WMC	WATER METER CABINET
WPRML	WATERPROOF METAL LOUVRE
WPT	WATER POINT
WT	WATER TANK

DRAWING LIST

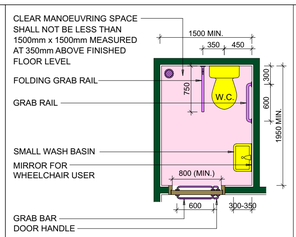
	Drawing No.	Drawing Title	Size	Rev.
1	A001	SITE PLAN AND NOTES	A1	-
2	A002	TYPICAL DETAILS	A1	-
3	A003	BASEMENT 2 FLOOR PLAN	A1	-
4	A004	BASEMENT 1 FLOOR PLAN	A1	-
5	A005	GROUND FLOOR PLAN	A1	-
6	A006	FIRST FLOOR PLAN	A1	-
7	A007	SECOND FLOOR PLAN	A1	-
8	A011	THIRD FLOOR PLAN	A1	-
9	A012	TYPICAL FLOOR PLAN (4/F TO 22/F)	A1	-
10	A013	MAIN ROOF PLAN	A1	-
11	A014	UPPER ROOF 1 FLOOR PLAN (UR1F)	A1	-
12	A015	UPPER ROOF 2 FLOOR PLAN (UR2F)	A1	-
13	A021	TOWER ELEVATION A	A1	-
14	A022	TOWER ELEVATION B	A1	-
15	A023	TOWER ELEVATION C	A1	-
16	A024	TOWER ELEVATION D	A1	-
17	A031	PODIUM SECTION 1-1	A1	-
18	A032	PODIUM SECTION 2-2	A1	-
19	A033	TOWER SECTION 3-3 & 4-4	A1	-
20	C041	CALCULATIONS	A1	-
21	C042	SCHEDULE	A1	-
22	C051	CALCULATIONS (1)	A1	-
23	C052	CALCULATIONS (2)	A1	-
24	C053	CALCULATIONS (3)	A1	-
25	C054	CALCULATIONS (4)	A1	-
26	C055	CALCULATIONS (5)	A1	-
27	C056	CALCULATIONS (6)	A1	-
28	C057	CALCULATIONS (7)	A1	-
29	C061	FIRE COMPARTMENT DIAGRAMS & CALCULATIONS (1)	A1	-
30	C062	FIRE COMPARTMENT DIAGRAMS & CALCULATIONS (2)	A1	-
31	C063	FIRE COMPARTMENT DIAGRAMS & CALCULATIONS (3)	A1	-
32	C071	SUSTAINABLE BUILDING DESIGN DEMONSTRATION DIAGRAMS & CALCULATIONS	A1	-
33	C072	GREENERY DIAGRAMS & CALCULATIONS	A1	-
34	C073	E.V.A. PLAN DIAGRAMS & CALCULATIONS	A1	-



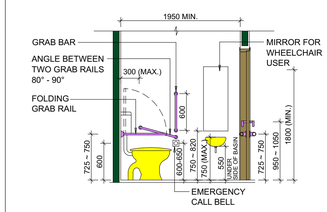
1 TYPICAL LAYOUT PLAN OF ACCESSIBLE RAMP 1:50



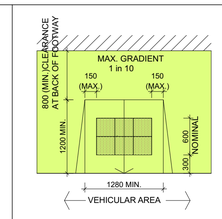
2 TYPICAL ELEVATION OF ACCESSIBLE RAMP 1:50



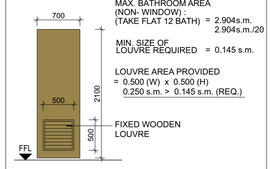
3 TYPICAL LAYOUT PLAN OF ACCESSIBLE UNISEX TOILET 1:50



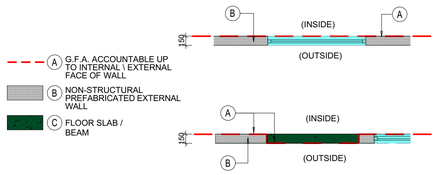
4 TYPICAL ELEVATION OF ACCESSIBLE UNISEX TOILET 1:50



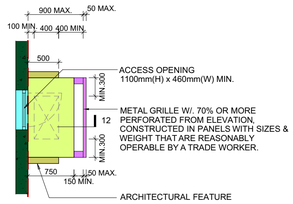
5 TYPICAL LAYOUT PLAN OF DROP KERB 1:50



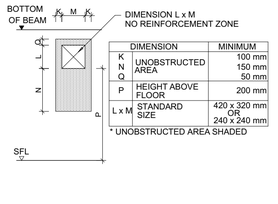
6 TYPICAL ELEVATION FOR DOOR LOUVRE 1:50



7 TYPICAL PLAN FOR GFA ACCOUNTABILITY ON NON-STRUCTURAL PREFABRICATED EXTERNAL WALL 1:50



8 TYPICAL PLAN OF AIR CONDITIONING PLATFORM 1:50



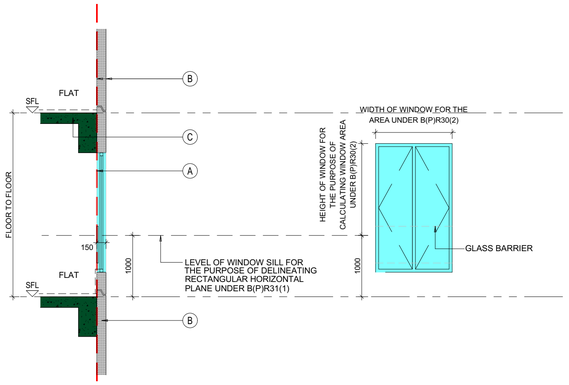
	DIMENSION	MINIMUM
K	UNOBSTRUCTED AREA	100 mm
N		150 mm
O		50 mm
P	HEIGHT ABOVE FLOOR	200 mm
L x M	STANDARD SIZE	420 x 320 mm OR 240 x 240 mm

* UNOBSTRUCTED AREA SHADED

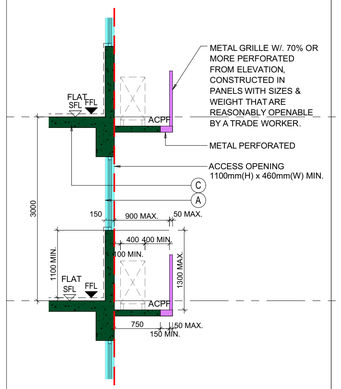
*ALL FLUE APERTURES WILL FULFILL:

1. IF THE WATER HEATER TO BE INSTALLED IN SITE BEFORE OP. THE HEATER WILL BE WITH FLUE TERMINAL APPROVED BY EMSD.
2. THE LOCATION OF THE FLUE APERTURE WILL BE IN COMPLIANCE WITH PNAP APP-27.
3. A NOTICE SHOWING THE LOCATION OF THE APPROVED APERTURE WILL BE AFFIXED TO THE BALCONY BEFORE OP APPLICATION.
4. THE WATER HEATER TO BE INSTALLED WILL NOT OBSTRUCT THE GLAZED / OPENABLE AREA OF ANY WINDOW PROVIDED TO FULFILL B(P)R 30 & 36.
5. EXTERNAL FALSE CEILING AT BALCONY WILL COMPLY WITH PNAP APP-27 AND CORRESPONDING STRUCTURAL DETAILS WILL BE SUBMITTED FOR APPROVAL.

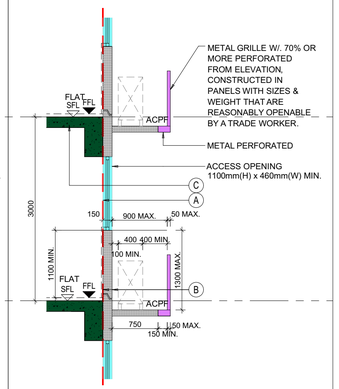
9 TYPICAL DETAIL FOR FLUE APERTURE 1:50



10 TYPICAL WINDOW SECTION FOR WIN. AREA & RHP 1:50

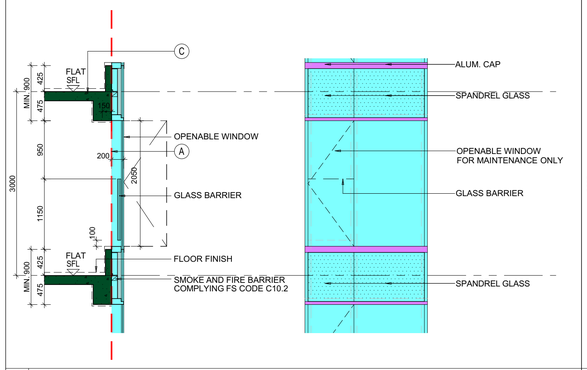


11 TYPICAL WINDOW ELEVATION FOR WIN. AREA & RHP 1:50

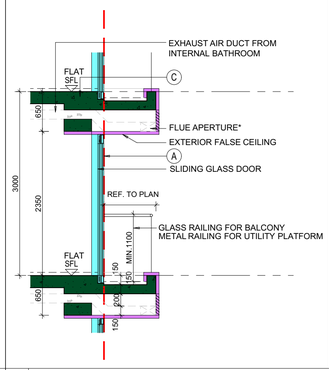


12 TYPICAL SECTION OF AIR CONDITIONING PLATFORM 1:50

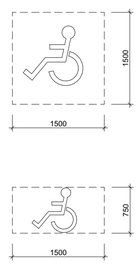
13 TYPICAL SECTION OF AIR CONDITIONING PLATFORM NON-STRUCTURAL PREFABRICATED EXTERNAL WALL 1:50



14 TYPICAL SECTION OF CURTAIN WALL 1:50



15 TYPICAL SECTION OF BALCONY & UTILITY PLATFORM 1:50



16 TEMPORARY REFUGE SPACE

BD REF	2/1234/18
BIM REF	2-1234-18-A21-01
FSD REF	FP 8/

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PROJECT

BD SAMPLE - PROPOSED 20-STOREY RESIDENTIAL BUILDING OVER 3-STOREY PODIUM AT TKO

DRAWING TITLE

TYPICAL DETAILS

SCALE 1:50 (A1)

DRAWING NO. A002

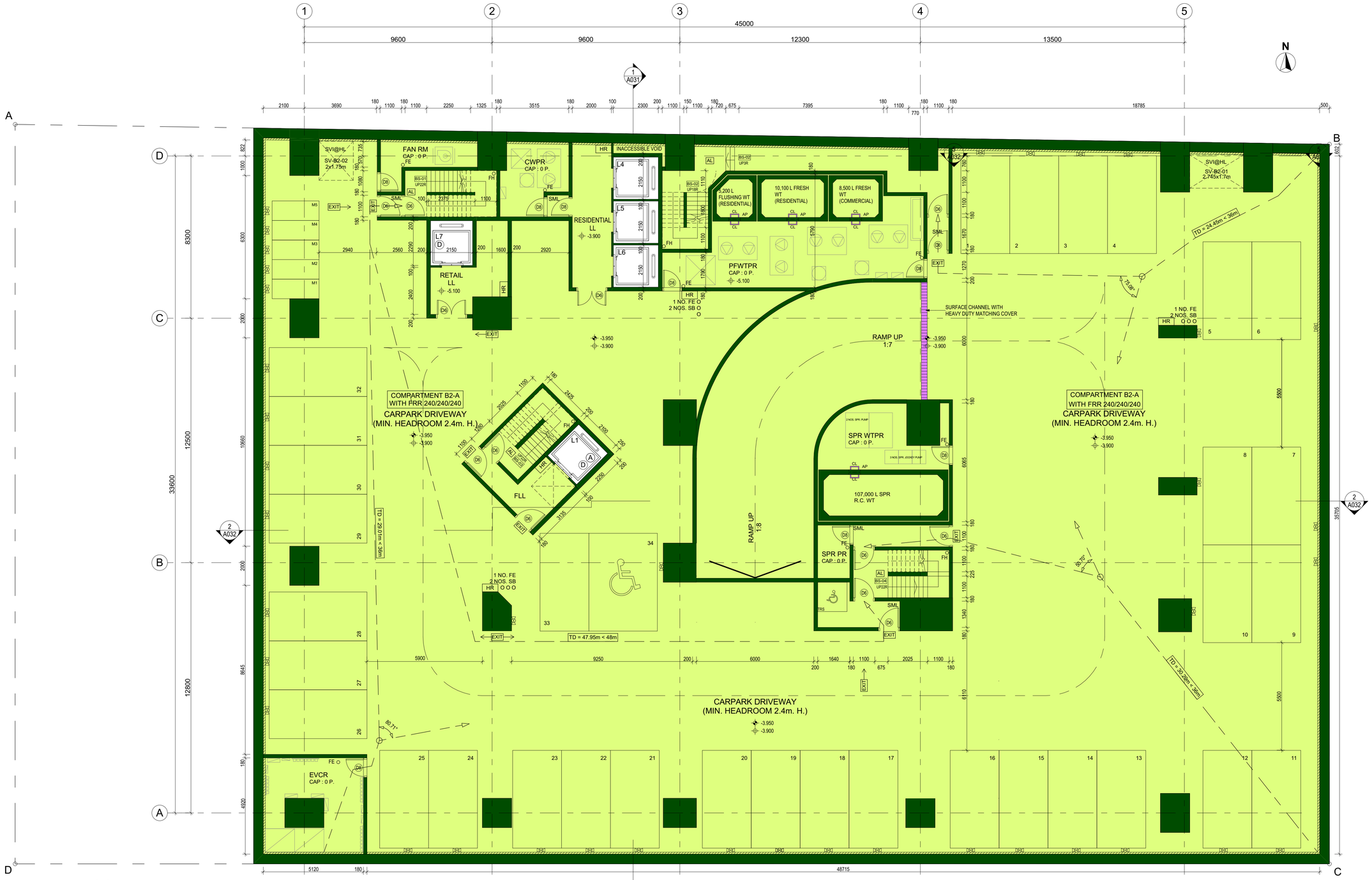
REV. NO. -

SOURCE

90mm (W) x 40mm (H) space for COMPANY LOGO

90mm (W) x 60mm (H) space for AP/RSE/RGE's signature/ and stamp chop

90mm (W) x 150mm (H) space for BD's approval stamp / certification of copies of approved plans (PNAP ADM-10 APP A)



BASEMENT 2 FLOOR PLAN

NOTES :

1. IMPOSED LOAD FOR E & M ROOM = 7.5 kpa
2. IMPOSED LOAD FOR CARPARK = 4.0 kpa
3. AUTOMATIC SPRINKLER SYSTEM TO BE PROVIDED IN ACCORDANCE WITH THE L.P.C. RULES FOR AUTOMATIC SPRINKLER INSTALLATIONS AND RELEVANT CIRCULAR LETTERS ISSUED BY THE HKFSD.
4. ARTIFICIAL LIGHTING TO BE PROVIDED FOR ALL STAIRCASES.
5. MECHANICAL VENTILATION TO BE PROVIDED FOR CARPARK.
6. SIZE OF PRIVATE CAR PARKING SPACE TO BE 5m x 2.5m x 2.4m(H)
7. SIZE OF MOTOR-CYCLE PARKING SPACE TO BE 2.4m x 1m x 2.4m(H)
8. EV CHARGER RECESSED IN WALL TO BE PROVIDED FOR ALL CARPARKING SPACE IN ACCORDANCE WITH THE REQUIREMENT UNDER THE TECHNICAL GUIDELINES ON CHARGING FACILITIES FOR ELECTRIC VEHICLES (EV)ISSUED BY E.M.S.D.
9. SMOKE VENT SIZE SHALL REFER TO CALCULATIONS & COMPARTMENT AREA DIAGRAM.
10. 150H. CONCRETE CURB TO E&M ROOMS TO BE PROVIDED AS INDICATED ON THE PLAN.
11. ALL LOCKING DEVICE WHICH IS ELECTRICALLY OPERATED SHOULD BE CAPABLE OF AUTOMATIC RELEASE UPON ACTUATION OF AN AUTOMATIC HEAT OR SMOKE DETECTION SYSTEM OR THE OPERATION OF AN ALARM SYSTEM OR A CENTRAL MANUAL OVERRIDE. UPON POWER FAILURE @H/L, THE ELECTRIC LOCKING DEVICE SHOULD BE RELEASED AUTOMATICALLY.

B2F BASEMENT FLOOR SMOKE VENT CALCULATION :

B2-A AREA FOR SMOKE VENT
REQUIRED AREA :
= 1558.596 s.m. x 0.5 %
= 7.793 s.m.

PROVIDED AREA :
= SV-B2-01 + SV-B2-02
= (2.745 x 1.7) s.m. + (2 x 1.75) s.m.
= 4.667 s.m. + 3.500 s.m.
= 8.167 s.m. > 7.793 s.m.

B2F BASEMENT FLOOR PARKING SCHEDULE

TOTAL NOS. OF CARPARK FOR RESIDENTIAL (2500 W. x 5000 L. x 2400 H.)	=	13 NOS.	(1 ~ 13)
TOTAL NOS. OF CARPARK FOR VISITOR'S (2500 W. x 5000 L. x 2400 H.)	=	5 NOS.	(14 ~ 18)
TOTAL NOS. OF CARPARK FOR ACCESSIBLE PARKING SPACE (3500 W. x 5000 L. x 2400 H.)	=	1 NO.	(34)
TOTAL NOS. OF CARPARK FOR RETAIL (2500 W. x 5000 L. x 2400 H.)	=	15 NOS.	(19 ~ 33)
TOTAL NOS. OF MOTORCYCLE FOR RESIDENTIAL (1000 W. x 2400 L. x 2400 H.)	=	3 NOS.	(M1 ~ M3)
TOTAL NOS. OF MOTORCYCLE FOR RETAIL (1000 W. x 2400 L. x 2400 H.)	=	2 NOS.	(M4 ~ M5)

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PROJECT
BD SAMPLE -
PROPOSED 20-STOREY
RESIDENTIAL BUILDING OVER
3-STOREY PODIUM AT TKO

DRAWING TITLE
BASEMENT 2 FLOOR PLAN

SCALE 1:100 (A1)

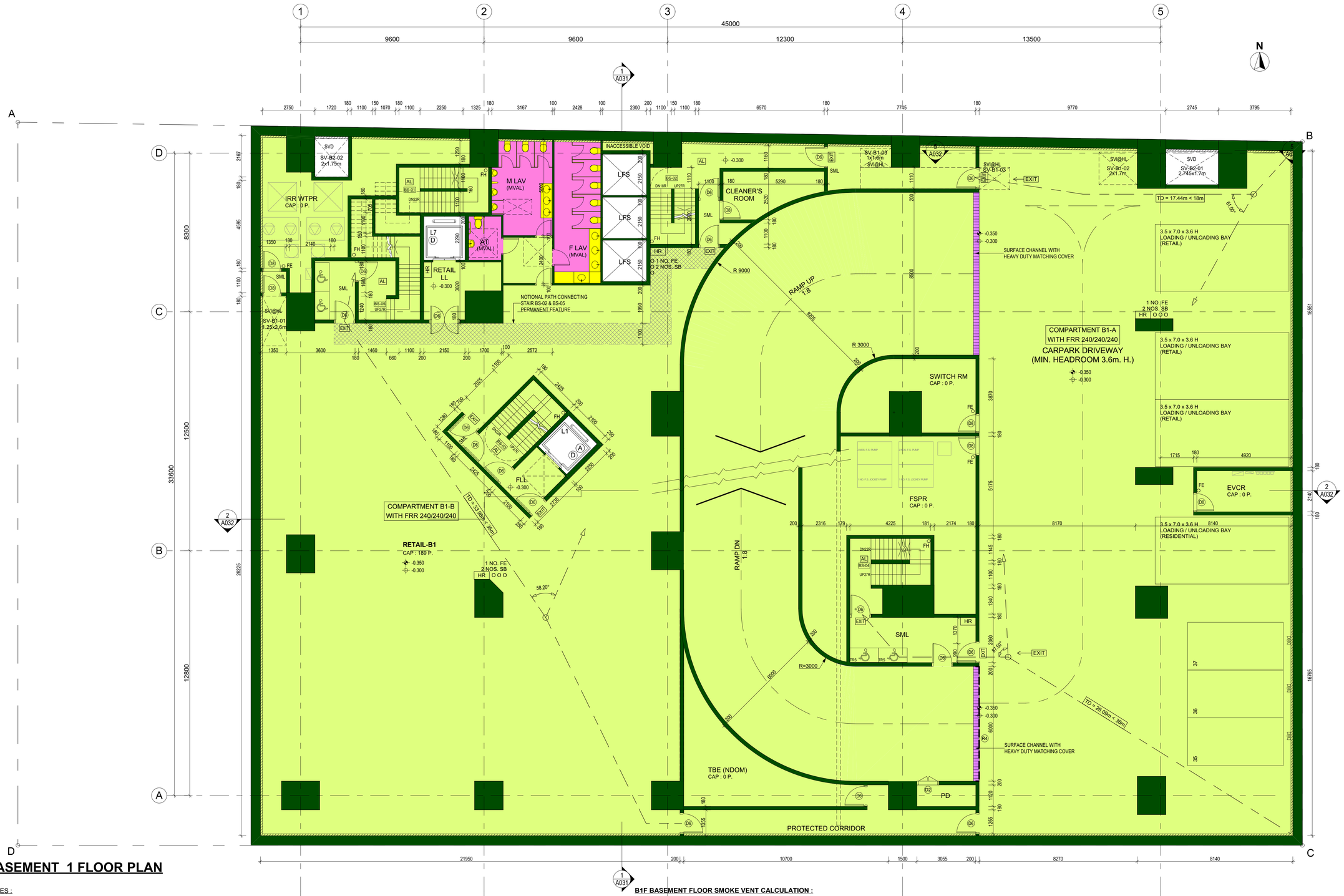
DRAWING NO. A003
REV. NO. -

SOURCE

90mm (W) x 40mm (H) space for COMPANY LOGO

90mm (W) x 60mm (H) space for AP/RSE/RGE's signature/ and stamp chop

90mm (W) x 150mm (H) space for BD's approval stamp / certification of copies of approved plans (PNAP ADM-10 APP A)



BASEMENT 1 FLOOR PLAN

NOTES :

1. IMPOSED LOAD FOR E & M ROOM = 7.5 kpa
2. IMPOSED LOAD FOR CARPARK = 4.0 kpa
3. AUTOMATIC SPRINKLER SYSTEM TO BE PROVIDED IN ACCORDANCE WITH THE L.P.C. RULES FOR AUTOMATIC SPRINKLER INSTALLATIONS AND RELEVANT CIRCULAR LETTERS ISSUED BY THE HKFSD.
4. ARTIFICIAL LIGHTING TO BE PROVIDED FOR ALL STAIRCASES.
5. MECHANICAL VENTILATION TO BE PROVIDED FOR CARPARK.
6. SIZE OF PRIVATE CAR PARKING SPACE TO BE 5m x 2.5m x 2.4m(H)
7. SIZE OF MOTOR-CYCLE PARKING SPACE TO BE 2.4m x 1m x 2.4m(H)
8. EV CHARGER RECESSED IN WALL TO BE PROVIDED FOR ALL CARPARKING SPACE IN ACCORDANCE WITH THE REQUIREMENT UNDER THE TECHNICAL GUIDELINES ON CHARGING FACILITIES FOR ELECTRIC VEHICLES (EV)ISSUED BY E.M.S.D.
9. SMOKE VENT SIZE SHALL REFER TO CALCULATIONS & COMPARTMENT AREA DIAGRAM.
10. 150H. CONCRETE CURB TO E&M ROOMS TO BE PROVIDED AS INDICATED ON THE PLAN.
11. ALL LOCKING DEVICES WHICH ARE ELECTRICALLY OPERATED SHOULD BE CAPABLE OF AUTOMATIC RELEASE UPON ACTUATION OF AN AUTOMATIC HEAT OR SMOKE DETECTION SYSTEM OR THE OPERATION OF AN ALARM SYSTEM OR A CENTRAL MANUAL OVERRIDE. UPON POWER FAILURE @H/L, THE ELECTRIC LOCKING DEVICE SHOULD BE RELEASED AUTOMATICALLY.

B1F BASEMENT FLOOR SMOKE VENT CALCULATION :

B1-A AREA FOR SMOKE VENT
REQUIRED AREA :
= 861.17 s.m. x 0.5 %
= 4.306 s.m.

PROVIDED AREA :
= SV-B1-02 + SV-B1-03
= (2 x 1.7) s.m. + (1 x 1.6)
= 3.400 s.m. + 1.600
= 5.000 s.m. > 4.306 s.m.

B1-B AREA FOR SMOKE VENT
REQUIRED AREA :
= 605.07 s.m. x 0.5 %
= 3.025 s.m.

PROVIDED AREA :
= SV-B1-01
= (1.25 x 2.6) s.m.
= 3.250 s.m. 3.025 s.m.

B1F BASEMENT FLOOR PARKING SCHEDULE

TOTAL NOS. OF CARPARK FOR RETAIL (2500 W. x 5000 L. x 2400 H.)	=	3 NOS. (35 ~ 37)
TOTAL NOS. OF LOADING / UNLOADING FOR RESIDENTIAL (3500 W. x 7000 L. x 3600 H.)	=	1 NOS.
TOTAL NOS. OF LOADING / UNLOADING FOR RETAIL (3500 W. x 7000 L. x 3600 H.)	=	3 NOS.

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PROJECT
BD SAMPLE -
PROPOSED 20-STOREY
RESIDENTIAL BUILDING OVER
3-STOREY PODIUM AT TKO

DRAWING TITLE
BASEMENT 1 FLOOR PLAN

SCALE 1:100 (A1)

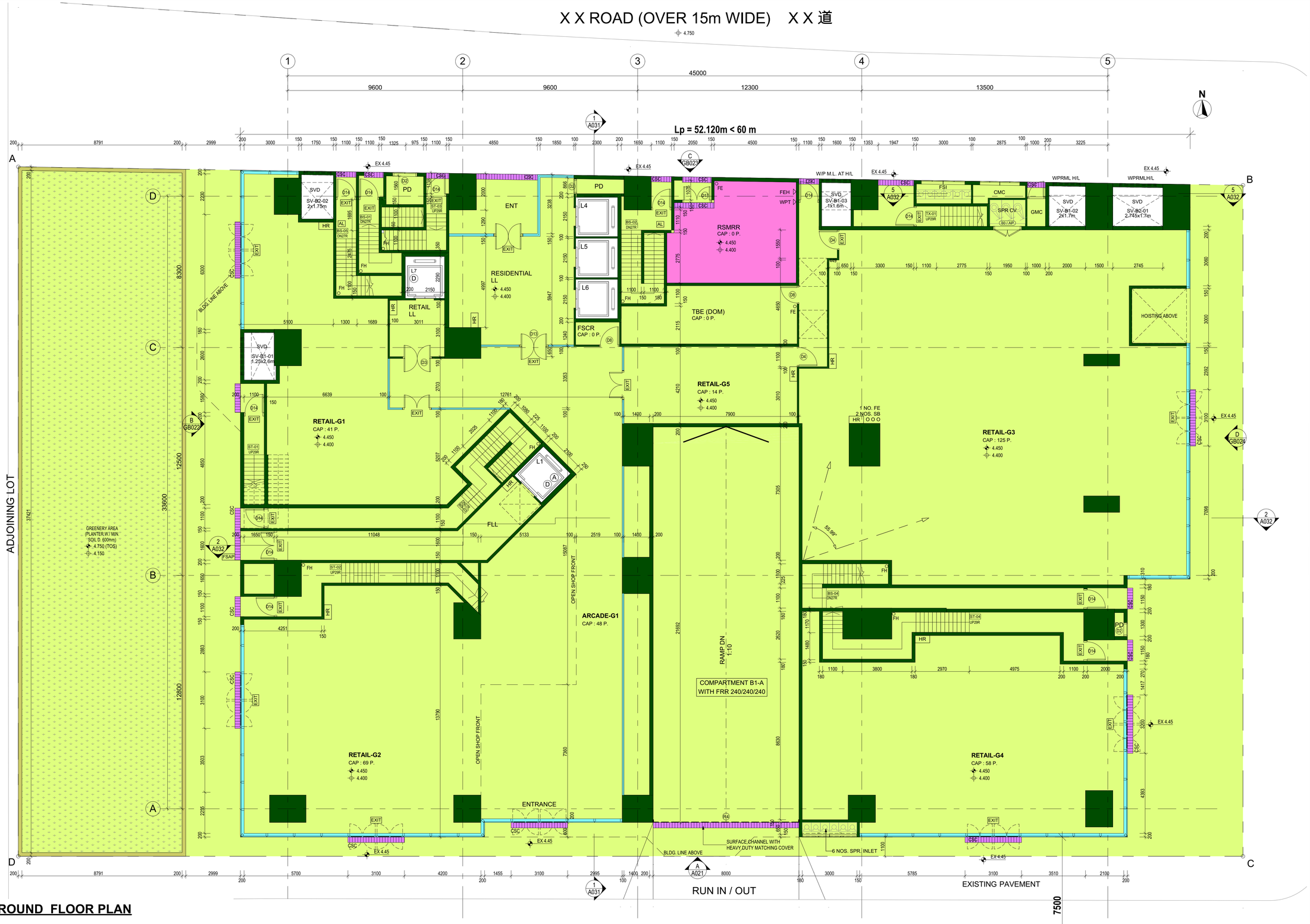
DRAWING NO. A004
REV. NO. -

SOURCE

90mm (W) x 40mm (H) space for COMPANY LOGO

90mm (W) x 60mm (H) space for AP/RSE/RGE's signature/ and stamp chop

90mm (W) x 150mm (H) space for BD's approval stamp / certification of copies of approved plans (PNAP ADM-10 APP A)



GROUND FLOOR PLAN

NOTES :

1. IMPOSED LOAD FOR LIFT LOBBIES = 3.0 kpa
2. IMPOSED LOAD FOR E & M = 7.5 kpa
3. AUTOMATIC SPRINKLER SYSTEM TO BE PROVIDED IN ACCORDANCE WITH THE L.P.C. RULES FOR AUTOMATIC SPRINKLER INSTALLATIONS AND RELEVANT CIRCULAR LETTERS ISSUED BY THE HKFSD.
4. ARTIFICIAL LIGHTING TO BE PROVIDED FOR ALL STAIRCASES.
5. 150H. CONCRETE CURB TO E&M ROOMS TO BE PROVIDED AS INDICATED ON THE PLAN.

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PROJECT
BD SAMPLE - PROPOSED 20-STOREY RESIDENTIAL BUILDING OVER 3-STOREY PODIUM AT TKO

DRAWING TITLE
GROUND FLOOR PLAN

SCALE 1:100 (A1)

DRAWING NO. A005 REV. NO. -

SOURCE

90mm (W) x 40mm (H) space for COMPANY LOGO

90mm (W) x 60mm (H) space for AP/RSE/RGE's signature/ and stamp chop

90mm (W) x 150mm (H) space for BD's approval stamp / certification of copies of approved plans (PNAP ADM-10 APP A)

FIRST FLOOR PLAN

NOTES :

1. IMPOSED LOAD FOR LIFT LOBBIES = 3.0 kpa
2. IMPOSED LOAD FOR E & M = 7.5 kpa
3. AUTOMATIC SPRINKLER SYSTEM TO BE PROVIDED IN ACCORDANCE WITH THE L.P.C. RULES FOR AUTOMATIC SPRINKLER INSTALLATIONS AND RELEVANT CIRCULAR LETTERS ISSUED BY THE HKFSD.
4. ARTIFICIAL LIGHTING TO BE PROVIDED FOR ALL STAIRCASES.
5. MECHANICAL VENTILATION AND ARTIFICIAL LIGHTING TO BE PROVIDED TO ACCESSIBLE UNISEX TOLIET (AT) , MALE LAVATORY & FEMALE LAVATORY.
6. 150H. CONCRETE CURB TO E&M ROOMS TO BE PROVIDED AS INDICATED ON THE PLAN

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PROJECT
BD SAMPLE - PROPOSED 20-STOREY RESIDENTIAL BUILDING OVER 3-STOREY PODIUM AT TKO

DRAWING TITLE
FIRST FLOOR PLAN

SCALE 1:100 (A1)

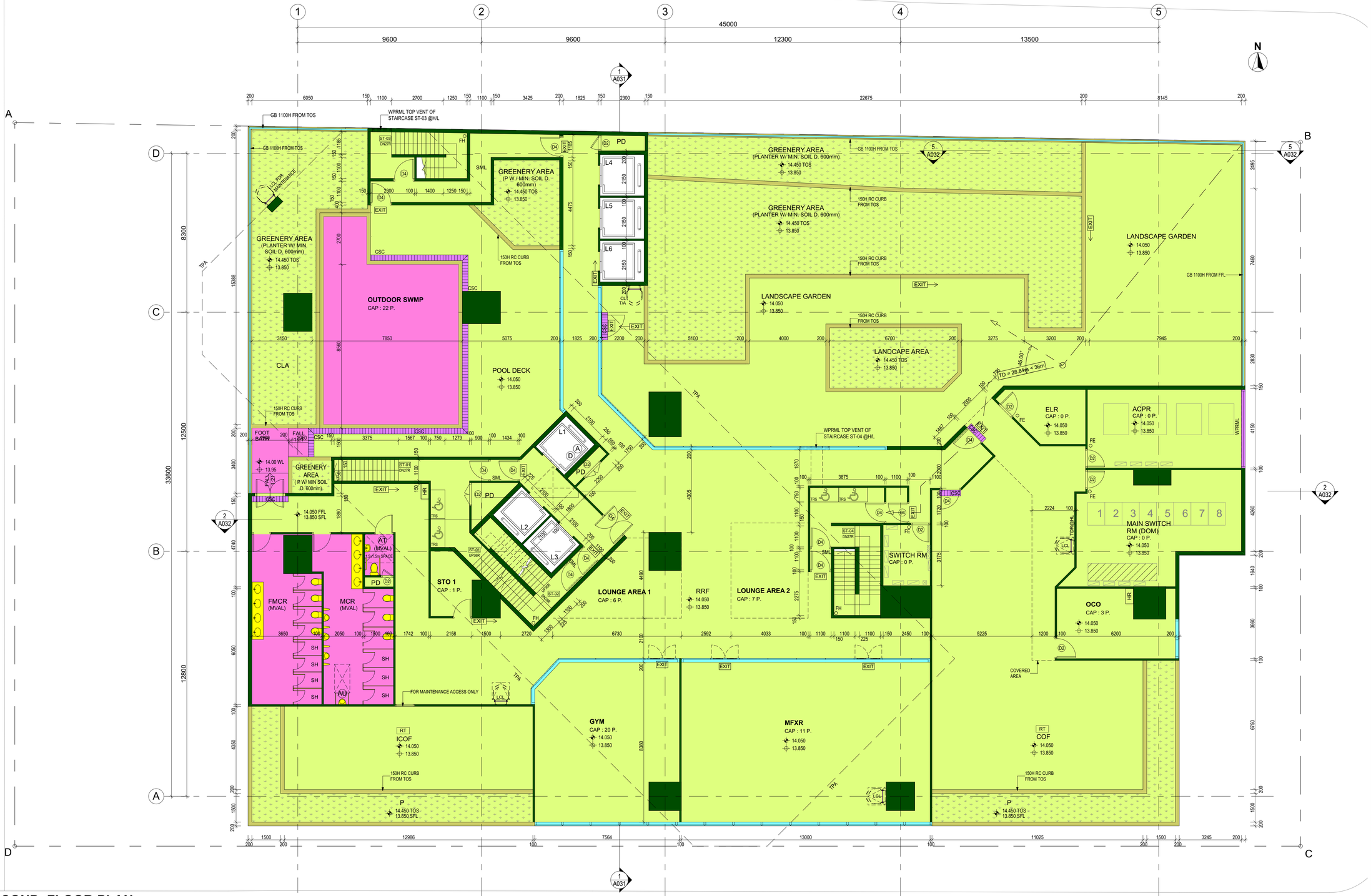
DRAWING NO. A006
REV. NO. -

SOURCE

90mm (W) x 40mm (H) space for COMPANY LOGO

90mm (W) x 60mm (H) space for AP/RSE/RGE's signature/ and stamp chop

90mm (W) x 150mm (H) space for BD's approval stamp / certification of copies of approved plans (PNAP ADM-10 APP A)



SECOND FLOOR PLAN

NOTES :

1. IMPOSED LOAD FOR LIFT LOBBIES = 3.0 kpa
2. IMPOSED LOAD FOR E & M = 7.5 kpa
3. AUTOMATIC SPRINKLER SYSTEM TO BE PROVIDED IN ACCORDANCE WITH THE L.P.C. RULES FOR AUTOMATIC SPRINKLER INSTALLATIONS AND RELEVANT CIRCULAR LETTERS ISSSUED BY THE HKFSD.
4. ARTIFICIAL LIGHTING TO BE PROVIDED FOR ALL STAIRCASES.
5. MECHANICAL VENTILATION AND ARTIFICIAL LIGHTING TO BE PROVIDED TO ACCESSIBLE UNISEX TOLIET (AT) , MALE LAVATORY & FEMALE LAVATORY.
6. 150H. CONCRETE CURB TO E&M ROOMS TO BE PROVIDED AS INDICATED ON THE PLAN.

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PROJECT
BD SAMPLE -
PROPOSED 20-STOREY
RESIDENTIAL BUILDING OVER
3-STOREY PODIUM AT TKO

DRAWING TITLE
SECOND FLOOR PLAN

SCALE 1:100 (A1)

DRAWING NO. A007
REV. NO. -

SOURCE

90mm (W) x 40mm (H) space for COMPANY LOGO

90mm (W) x 60mm (H) space for AP/RSE/RGE's signature/ and stamp chop

90mm (W) x 150mm (H) space for BD's approval stamp / certification of copies of approved plans (PNAP ADM-10 APP A)

FLAT 7 – BR. 1 (3/F TO 22/F)
UNOBSTRUCTED VISION AREA (UVA) PROVIDED :
(UVA) OF WINDOW

HEIGHT OF FACADE FOR DOMESTIC - HABITABLE ROOM
= 80.00 (R/F) - 20.00 (3/F) + 1.50 - 2.40
= 59.10 m

UNOBSTRUCTED VISION AREA (UVA) REQUIREMENT
FOR DOMESTIC HABITABLE ROOM (8 % VDF)

HEIGHT OF FACADE (m)	10% UFA	15% UFA	20% UFA
= 59.10 m	873	682	491
PERFORMANCE-BASED APPROACH CALCULATIONS			

= C1 x 4
= 261.507 s.m. x 4
= 1046.028 s.m. > 873 s.m. (10% of UFA)

THIRD FLOOR PLAN

STOREY HEIGHT = 3000 mm

NOTES :

1. IMPOSED LOAD = 2.5 kpa
2. IMPOSED LOAD FOR FLAT ROOF = 2.0 kpa
3. LIFT DOOR OPENING ARRANGEMENT :
   LIFT NO. L1, L2 & L3 SERVED ALL FLOORS
   (LIFT NO. L1 FOR FIREMAN'S LIFT & ACCESSIBLE LIFT)
4. NOTES FOR INTERNAL BATHROOMS :
   A SYSTEM OF ARTIFICIAL LIGHTING AND MECHANICAL VENTILATION PRODUCING 5 AIR CHANGES PER HOUR) IS IN OPERATION AT TIME WHEN THE BATHROOM IS IN USE.
5. 150H. CONCRETE CURB TO E&M ROOMS TO BE PROVIDED AS INDICATED ON THE PLAN.
6. AUTOMATIC SPRINKLER SYSTEM TO BE PROVIDED IN ACCORDANCE WITH THE L.P.C. RULES FOR AUTOMATIC SPRINKLER INSTALLATIONS AND RELEVANT CIRCULAR LETTERS ISSUED BY THE HKFSD.
7. ALL BATHROOM / MVAL WITH * MARK HAVE TRANSFER AIR DUCT AT H/L.
8. ALL KITCHEN WITH * MARK ARE EQUIPPED WITH ELECTRIC FUEL.

LEGEND :

B -/30/30 F.R.R. FULL HEIGHT FIRE RESISTING BARRIER

O KIT OPEN KITCHEN

SUNKEN SLAB / DRAINAGE TRENCH / E & M TRENCH

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PROJECT
BD SAMPLE - PROPOSED 20-STOREY RESIDENTIAL BUILDING OVER 3-STOREY PODIUM AT TKO

DRAWING TITLE
THIRD FLOOR PLAN

SCALE 1:100 (A1)

DRAWING NO.	REV. NO.
A011	-

SOURCE

90mm (W) x 40mm (H) space for COMPANY LOGO

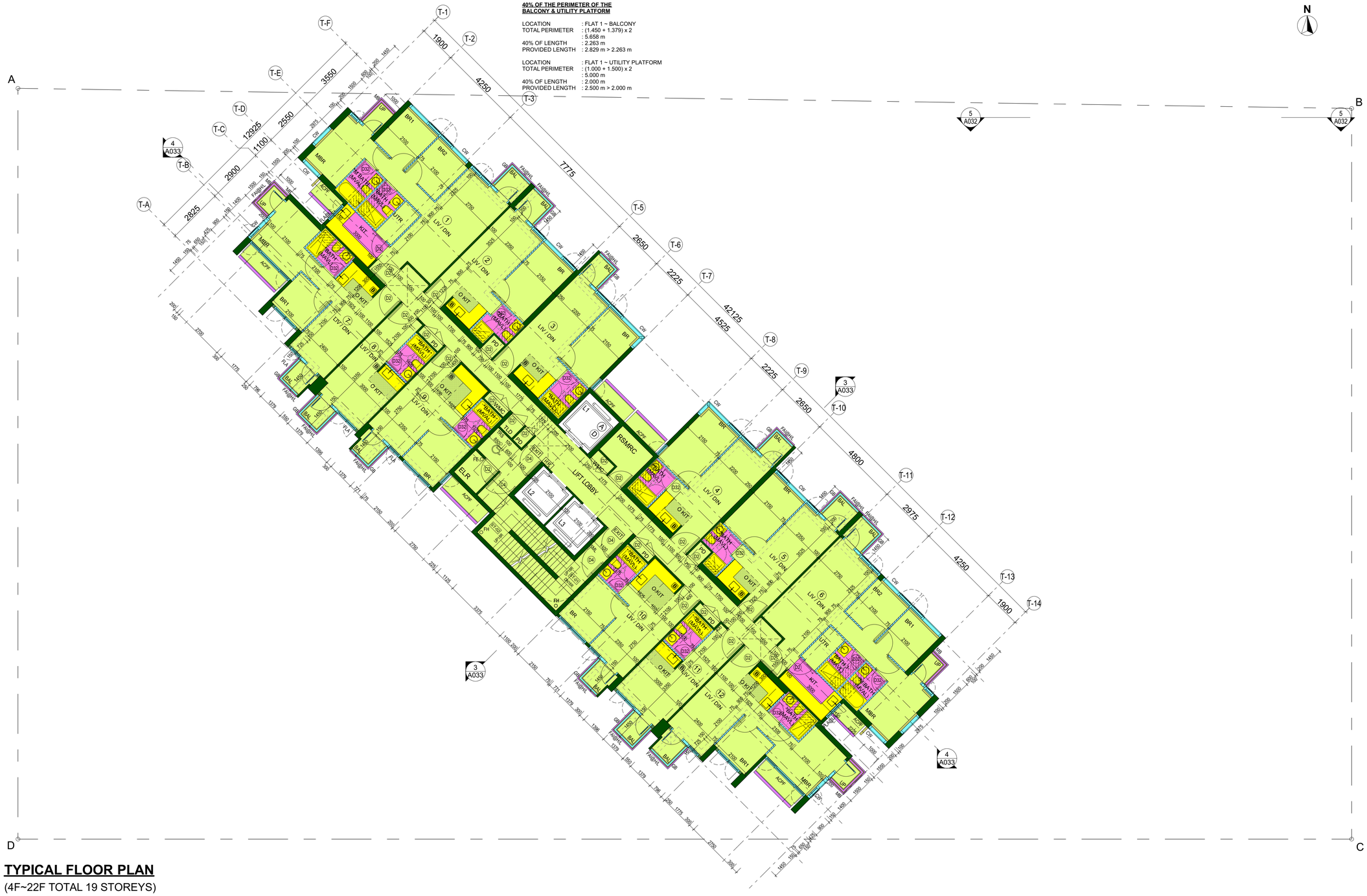
90mm (W) x 60mm (H) space for AP/RSE/RGE's signature/ and stamp chop

90mm (W) x 150mm (H) space for BD's approval stamp / certification of copies of approved plans (PNAP ADM-10 APP A)

40% OF THE PERIMETER OF THE BALCONY & UTILITY PLATFORM

LOCATION : FLAT 1 ~ BALCONY
TOTAL PERIMETER : (1.450 + 1.379) x 2
: 5.658 m
40% OF LENGTH : 2.263 m
PROVIDED LENGTH : 2.829 m > 2.263 m

LOCATION : FLAT 1 ~ UTILITY PLATFORM
TOTAL PERIMETER : (1.000 + 1.500) x 2
: 5.000 m
40% OF LENGTH : 2.000 m
PROVIDED LENGTH : 2.500 m > 2.000 m



TYPICAL FLOOR PLAN

(4F~22F TOTAL 19 STOREYS)

STOREY HEIGHT = 3000 mm

NOTES :

1. IMPOSED LOAD = 2.5 kpa
2. LIFT DOOR OPENING ARRANGEMENT :
   LIFT NO. L1, L2 & L3 SERVED ALL FLOORS
   (LIFT NO. L1 FOR FIREMAN'S LIFT & ACCESSIBLE LIFT)
3. NOTES FOR INTERNAL BATHROOMS :
   A SYSTEM OF ARTIFICIAL LIGHTING AND MECHANICAL VENTILATION PRODUCING 5 AIR CHANGES PER HOUR) IS IN OPERATION AT TIME WHEN THE BATHROOM IS IN USE.
4. 150H. CONCRETE CURB TO E&M ROOMS TO BE PROVIDED AS INDICATED ON THE PLAN.
5. AUTOMATIC SPRINKLER SYSTEM TO BE PROVIDED IN ACCORDANCE WITH THE L.P.C. RULES FOR AUTOMATIC SPRINKLER INSTALLATIONS AND RELEVANT CIRCULAR LETTERS ISSUED BY THE HKFSD.
6. ALL BATHROOM / MVAL WITH * MARK HAVE TRANSFER AIR DUCT AT H/L.
7. ALL KITCHEN WITH * MARK ARE EQUIPPED WITH ELECTRIC FUEL.

LEGEND :

B -/30/30 F.R.R. FULL HEIGHT FIRE BARRIER

O KIT OPEN KITCHEN

SUNKEN SLAB / DRAINAGE TRENCH / E & M TRENCH

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PROJECT
BD SAMPLE - PROPOSED 20-STOREY RESIDENTIAL BUILDING OVER 3-STOREY PODIUM AT TKO

DRAWING TITLE
TYPICAL FLOOR PLAN (4/F TO 22/F)

SCALE 1:100 (A1)

DRAWING NO. A012
REV. NO. -

SOURCE

90mm (W) x 40mm (H) space for COMPANY LOGO

90mm (W) x 60mm (H) space for AP/RSE/RGE's signature/ and stamp chop

90mm (W) x 150mm (H) space for BD's approval stamp / certification of copies of approved plans (PNAP ADM-10 APP A)

MAIN ROOF PLAN

NOTES :

1. IMPOSED LOAD = 2.0 kpa
2. IMPOSED LOAD FOR ELR, WATER TANK & PUMP ROOM = 10.0 kpa
3. 150H. CONCRETE CURB TO E&M ROOMS TO BE PROVIDED AS INDICATED ON THE PLAN

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PROJECT
BD SAMPLE - PROPOSED 20-STOREY RESIDENTIAL BUILDING OVER 3-STOREY PODIUM AT TKO

DRAWING TITLE
MAIN ROOF PLAN

SCALE 1:100 (A1)

DRAWING NO. A013 REV. NO. -

SOURCE

90mm (W) x 40mm (H) space for COMPANY LOGO

90mm (W) x 60mm (H) space for AP/RSE/RGE's signature/ and stamp chop

90mm (W) x 150mm (H) space for BD's approval stamp / certification of copies of approved plans (PNAP ADM-10 APP A)

UPPER ROOF 1 FLOOR PLAN (UR1F)

NOTES :

1. IMPOSED LOAD = 2.0 kpa
2. IMPOSED LOAD FOR E&M ROOM = 7.5 kps
3. 150H. CONCRETE CURB TO E&M ROOMS TO BE PROVIDED AS INDICATED ON THE PLAN

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PROJECT

BD SAMPLE - PROPOSED 20-STOREY RESIDENTIAL BUILDING OVER 3-STOREY PODIUM AT TKO

DRAWING TITLE

UPPER ROOF 1 FLOOR PLAN (UR1F)

SCALE 1:100 (A1)

DRAWING NO. A014

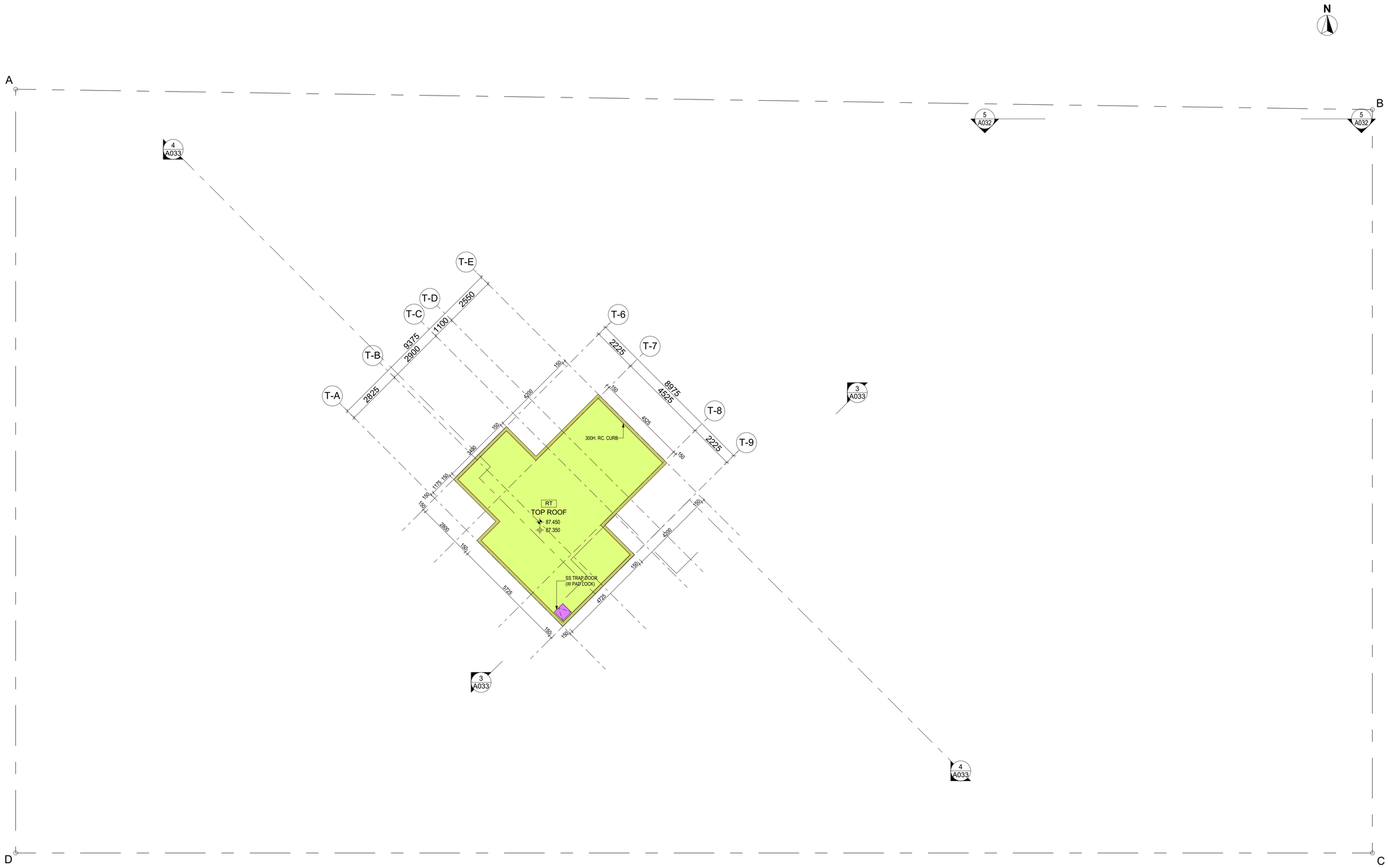
REV. NO. -

SOURCE

90mm (W) x 40mm (H) space for COMPANY LOGO

90mm (W) x 60mm (H) space for AP/RSE/RGE's signature/ and stamp chop

90mm (W) x 150mm (H) space for BD's approval stamp / certification of copies of approved plans (PNAP ADM-10 APP A)



UPPER ROOF 2 FLOOR PLAN (UR2F)

NOTES :

1. IMPOSED LOAD = 2.0 kpa

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PROJECT

BD SAMPLE - PROPOSED 20-STOREY RESIDENTIAL BUILDING OVER 3-STOREY PODIUM AT TKO

DRAWING TITLE

UPPER ROOF 2 FLOOR PLAN (UR2F)

SCALE 1:100 (A1)

DRAWING NO. A015

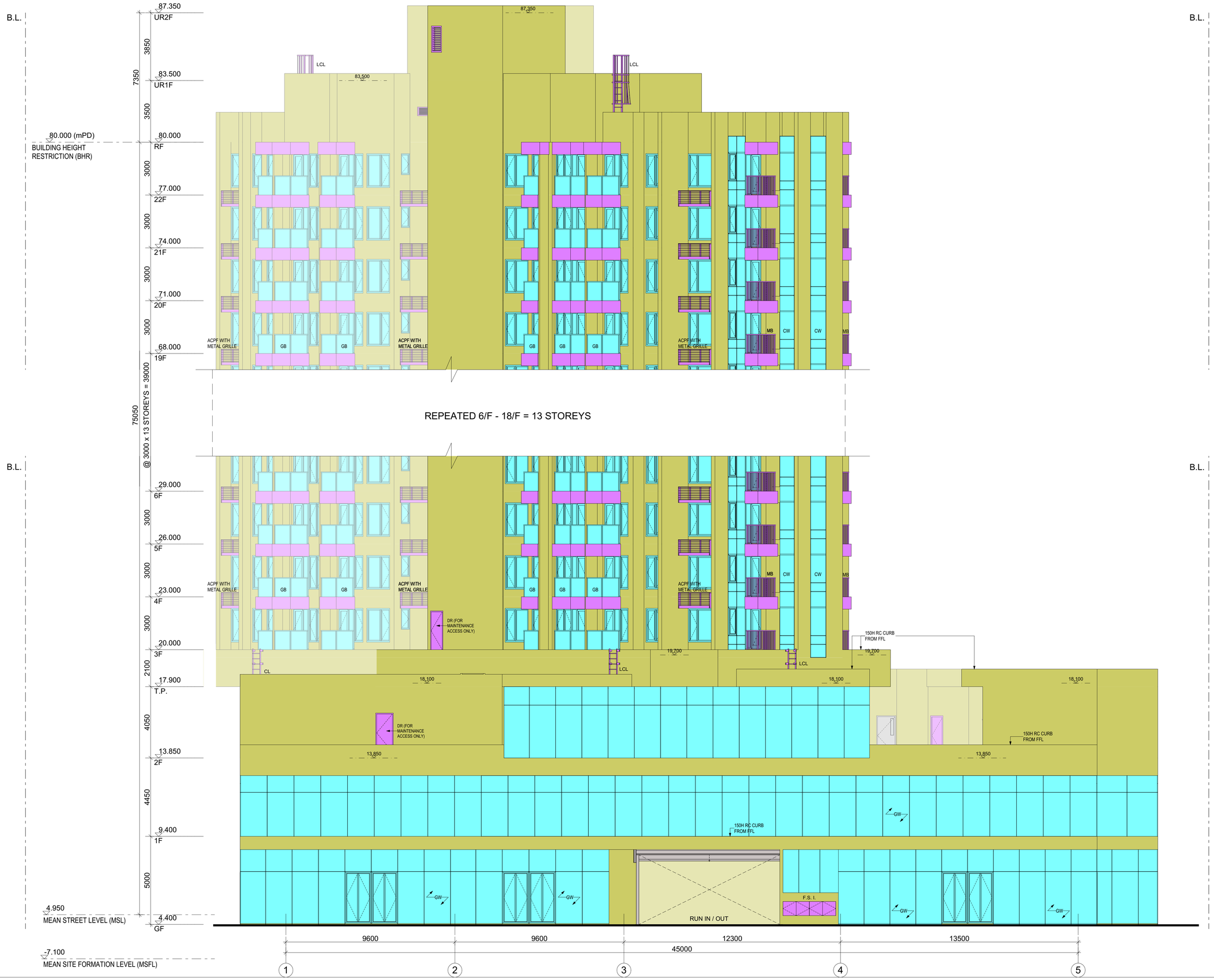
REV. NO. -

SOURCE

90mm (W) x 40mm (H) space for COMPANY LOGO

90mm (W) x 60mm (H) space for AP/RSE/RGE's signature/ and stamp chop

90mm (W) x 150mm (H) space for BD's approval stamp / certification of copies of approved plans (PNAP ADM-10 APP A)



ELEVATION A

BD REF	2/1234/18
BIM REF	2-1234-18-A21-01
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PROJECT
BD SAMPLE - PROPOSED 20-STOREY RESIDENTIAL BUILDING OVER 3-STOREY PODIUM AT TKO

DRAWING TITLE
TOWER ELEVATION A

SCALE 1:100 (A1)

DRAWING NO. A021

REV. NO. -

SOURCE

90mm (W) x 40mm (H) space for COMPANY LOGO

90mm (W) x 60mm (H) space for AP/RSE/RGE's signature/ and stamp chop

90mm (W) x 150mm (H) space for BD's approval stamp / certification of copies of approved plans (PNAP ADM-10 APP A)

ELEVATION B

BD REF	2/1234/18
BIM REF	2-1234-18-A21-01
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PROJECT

BD SAMPLE - PROPOSED 20-STOREY RESIDENTIAL BUILDING OVER 3-STOREY PODIUM AT TKO

DRAWING TITLE

TOWER ELEVATION B

SCALE 1:100 (A1)

DRAWING NO. A022

REV. NO. -

SOURCE

90mm (W) x 40mm (H) space for COMPANY LOGO

90mm (W) x 60mm (H) space for AP/RSE/RGE's signature/ and stamp chop

90mm (W) x 150mm (H) space for BD's approval stamp / certification of copies of approved plans (PNAP ADM-10 APP A)

ELEVATION C

BD REF	2/1234/18
BIM REF	2-1234-18-A21-01
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PROJECT

BD SAMPLE - PROPOSED 20-STOREY RESIDENTIAL BUILDING OVER 3-STOREY PODIUM AT TKO

DRAWING TITLE

TOWER ELEVATION C

SCALE 1:100 (A1)

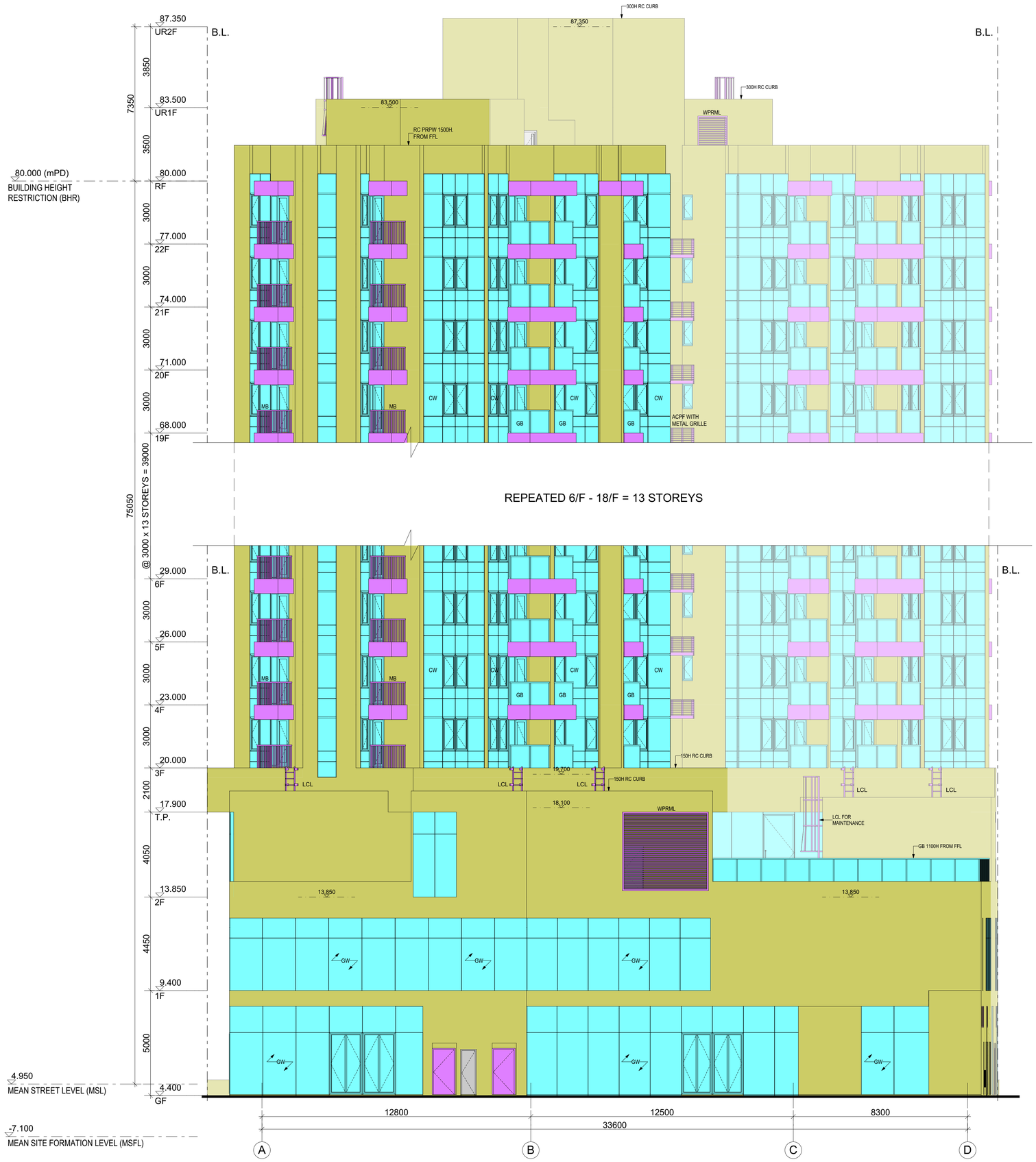
DRAWING NO.	REV. NO.
A023	-

SOURCE

90mm (W) x 40mm (H) space for COMPANY LOGO

90mm (W) x 60mm (H) space for AP/RSE/RGE's signature/ and stamp chop

90mm (W) x 150mm (H) space for BD's approval stamp / certification of copies of approved plans (PNAP ADM-10 APP A)



ELEVATION D

BD REF	2/1234/18
BIM REF	2-1234-18-A21-01
FSD REF	FP 8/

Rev.	Date	Amendment	Purpose

9/11/2019 3:52 PM

PROJECT
BD SAMPLE - PROPOSED 20-STOREY RESIDENTIAL BUILDING OVER 3-STOREY PODIUM AT TKO

DRAWING TITLE
TOWER ELEVATION D

SCALE 1:100 (A1)

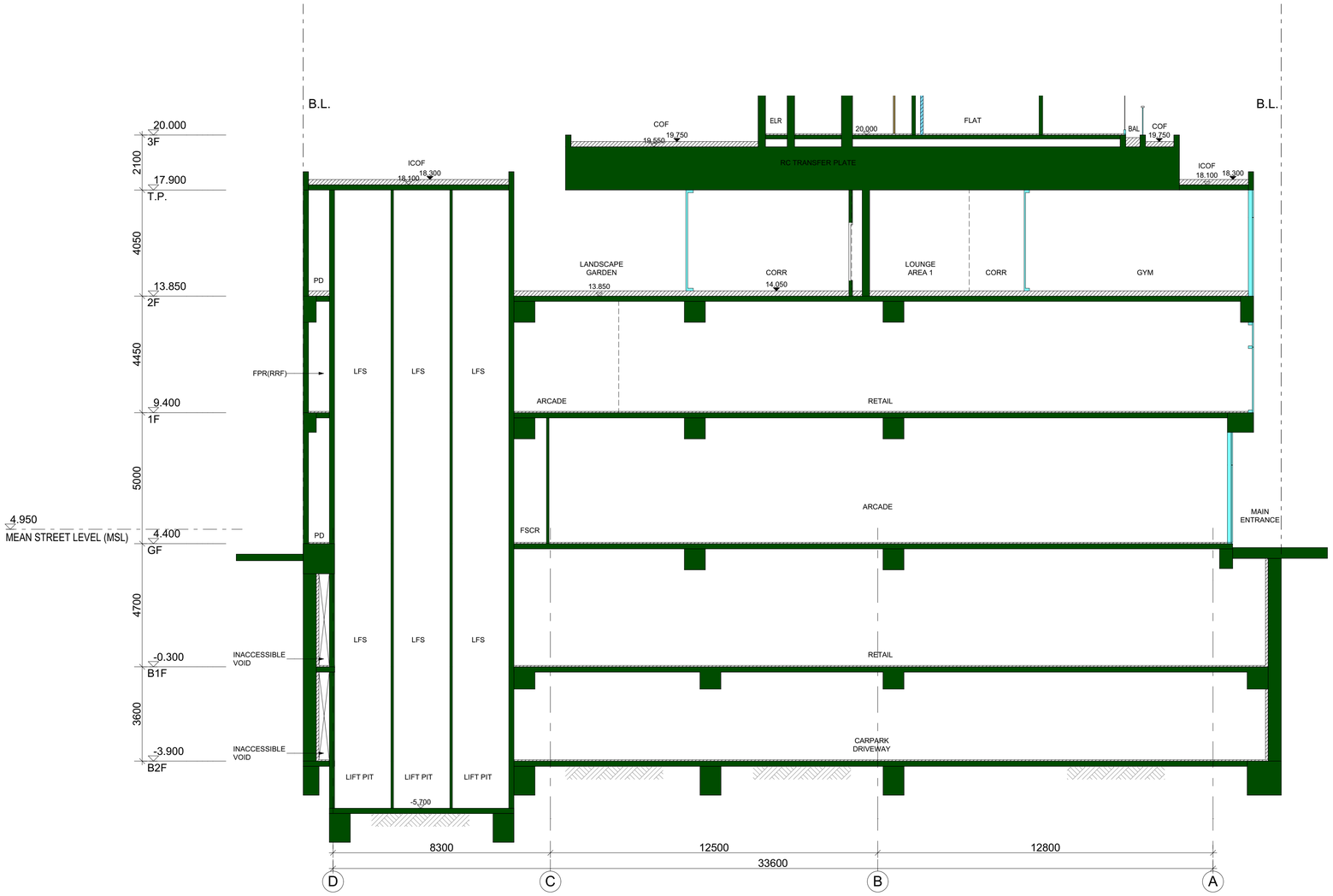
DRAWING NO. A024 **REV. NO.** -

SOURCE

90mm (W) x 40mm (H) space for COMPANY LOGO

90mm (W) x 60mm (H) space for AP/RSE/RGE's signature/ and stamp chop

90mm (W) x 150mm (H) space for BD's approval stamp / certification of copies of approved plans (PNAP ADM-10 APP A)



SECTION 1-1

BD REF	2/1234/18
BIM REF	2-1234-18-A21-01
FSD REF	FP 8/

Rev.	Date	Amendment	Purpose

9/11/2019 3:52 PM

PROJECT

BD SAMPLE - PROPOSED 20-STOREY RESIDENTIAL BUILDING OVER 3-STOREY PODIUM AT TKO

DRAWING TITLE

PODIUM SECTION 1-1

SCALE 1:100 (A1)

DRAWING NO. A031

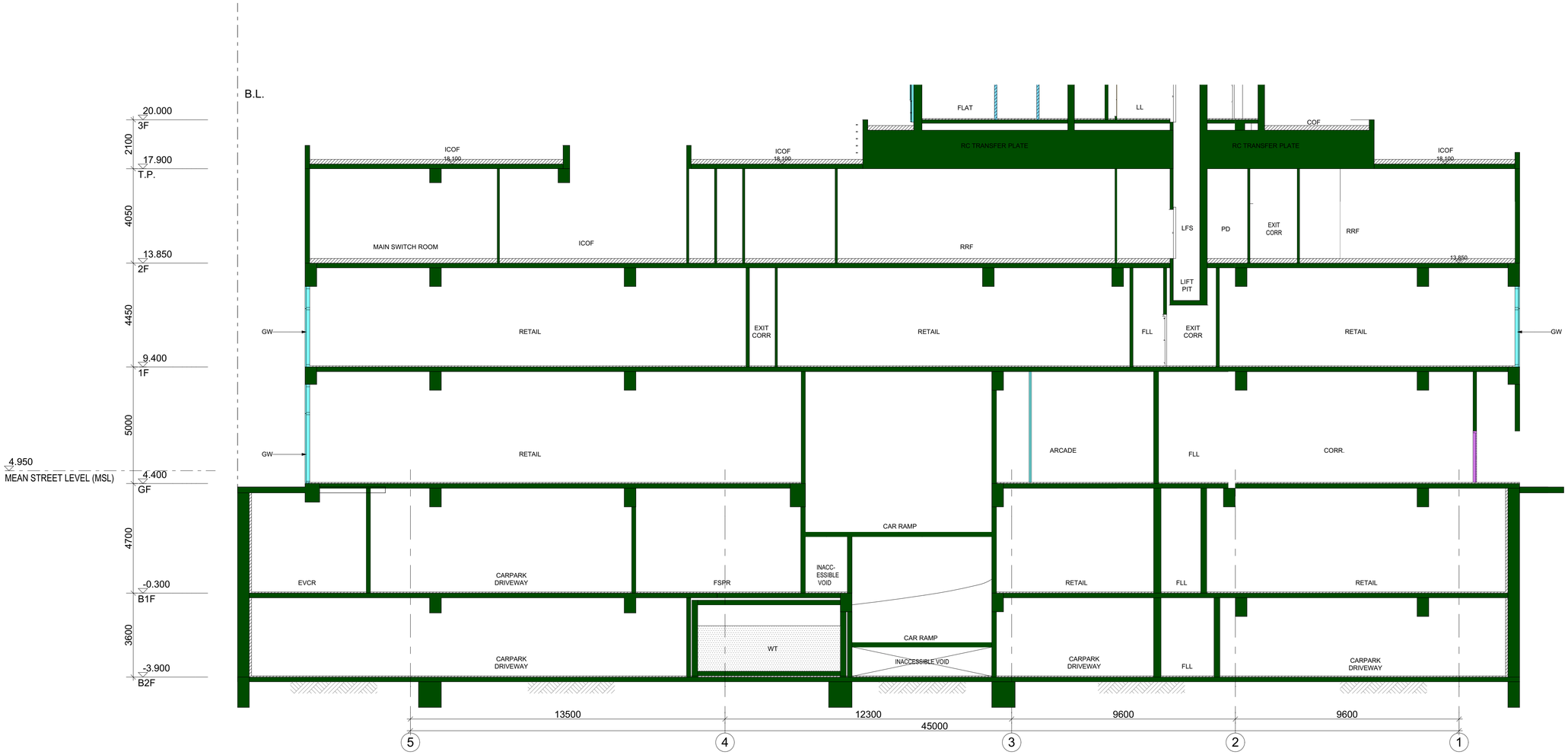
REV. NO. -

SOURCE

90mm (W) x 40mm (H) space for COMPANY LOGO

90mm (W) x 60mm (H) space for AP/RSE/RGE's signature/ and stamp chop

90mm (W) x 150mm (H) space for BD's approval stamp / certification of copies of approved plans (PNAP ADM-10 APP A)



SECTION 2-2

BD REF	2/1234/18
BIM REF	2-1234-18-A21-01
FSD REF	FP 8/

Rev.	Date	Amendment	Purpose

9/11/2019 3:52 PM

PROJECT

BD SAMPLE - PROPOSED 20-STOREY RESIDENTIAL BUILDING OVER 3-STOREY PODIUM AT TKO

DRAWING TITLE

PODIUM SECTION 2-2

SCALE 1:100 (A1)

DRAWING NO. A032

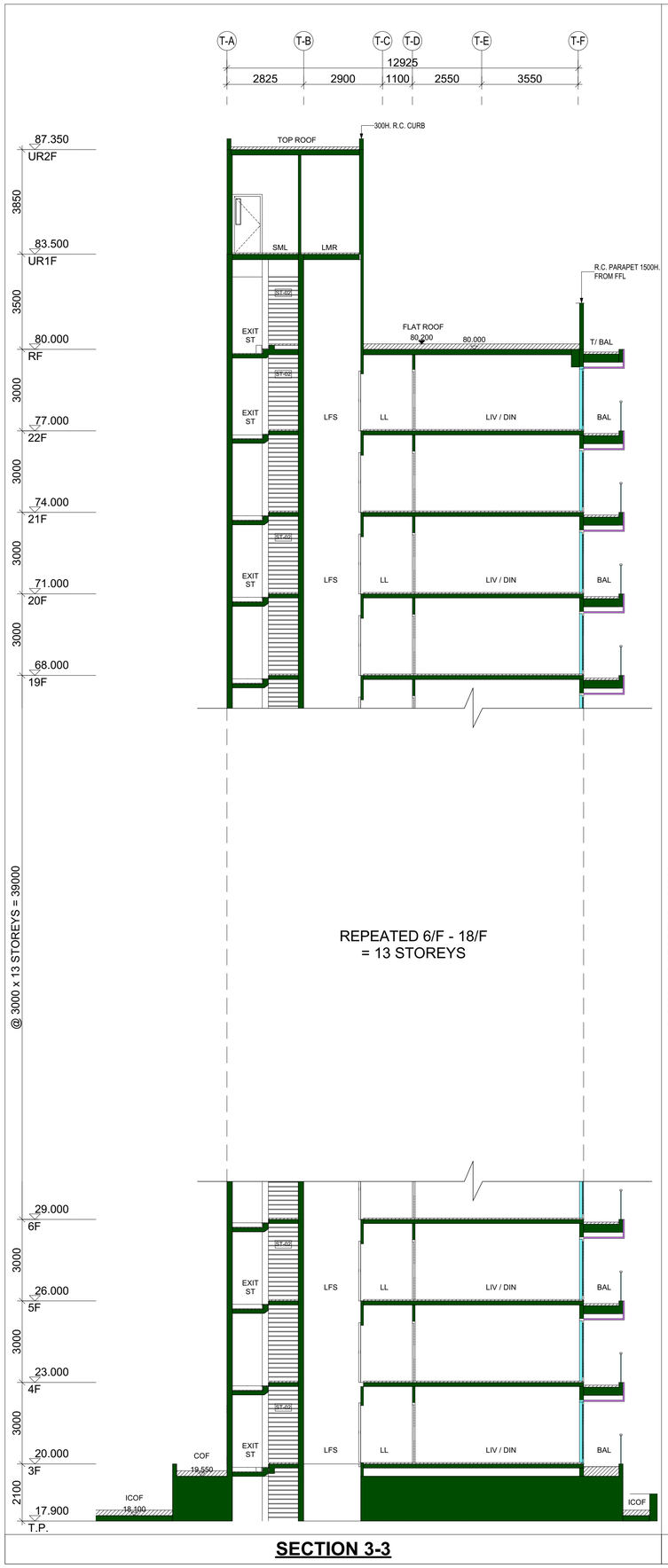
REV. NO. -

SOURCE

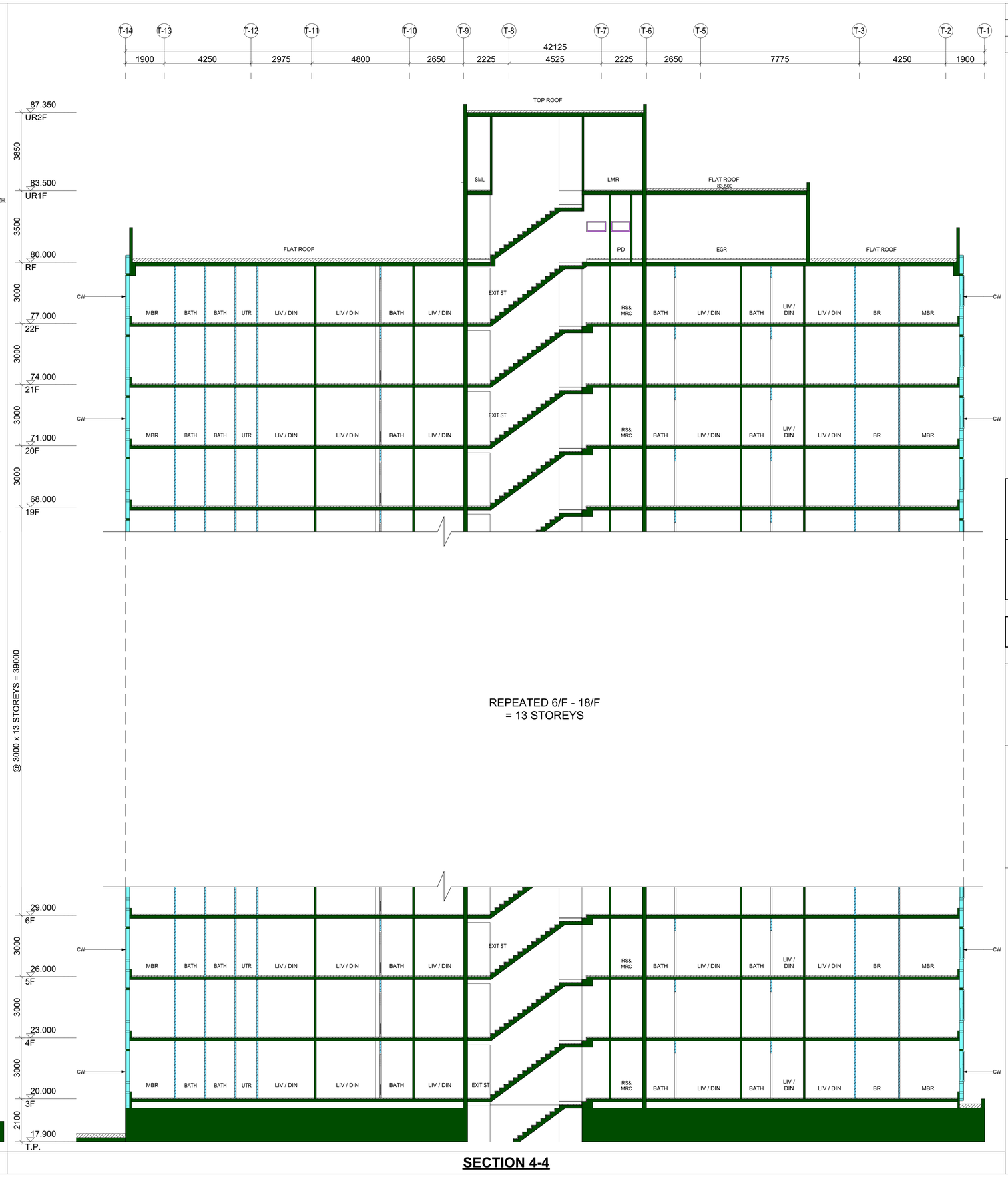
90mm (W) x 40mm (H) space for COMPANY LOGO

90mm (W) x 60mm (H) space for AP/RSE/RGE's signature/ and stamp chop

90mm (W) x 150mm (H) space for BD's approval stamp / certification of copies of approved plans (PNAP ADM-10 APP A)



SECTION 3-3



SECTION 4-4

BD REF	2/1234/18
BIM REF	2-1234-18-A21-01
FSD REF	FP 8/

Rev.	Date	Amendment	Purpose

9/11/2019 3:52 PM

PROJECT

BD SAMPLE - PROPOSED 20-STOREY RESIDENTIAL BUILDING OVER 3-STOREY PODIUM AT TKO

DRAWING TITLE

TOWER SECTION 3-3 & 4-4

SCALE 1:100 (A1)

DRAWING NO. A033

REV. NO. -

SOURCE

90mm (W) x 40mm (H) space for COMPANY LOGO

90mm (W) x 60mm (H) space for AP/RSE/RGE's signature/ and stamp chop

90mm (W) x 150mm (H) space for BD's approval stamp / certification of copies of approved plans (PNAP ADM-10 APP A)

TOTAL DOMESTIC G.F.A. CALCULATIONS

(BEFORE EXEMPTION OF LIFT SHAFT AREA UNDER PNAP APP-89)
(CALCULATION REFER DWG. NO. C051~C052)

			(LOBBY & EXIT STAIRCASE)				
GF			1	STOREY	=	70.943	s.m.
1F			1	STOREY	=	23.055	s.m.
2F			1	STOREY	=	230.874	s.m.
3F ~ 22F	485.204	s.m. (EACH FLOOR) x	20	STOREYS	=	9704.080	s.m.
			23	SUB-TOTAL :	=	10028.952	s.m.

G.F.A. CONCESSION UNDER PNAP APP-89 (FOR PROVISION OF BETTER LIFT SERVICE)

(10% CAP ON G.F.A. CONCESSIONS TABLE ITEM 18)
(CALCULATION REFER DWG. NO. C053)

LIFT NO. L1, L2 & L3	13.545 s.m.	(2F ~ 22F) x 21	STOREYS	=	284.445	s.m.
LIFT NO. L1	4.725 s.m.	(GF~ 1F) x 2	STOREYS	=	9.450	s.m.
					293.895	

TOTAL DOMESTIC LIFT SHAFT AREAS SHOWN ON PLANS AND INCLUDED AS DOMESTIC G.F.A. :

(293.895 s.m. / 10028.952 s.m. x 100%)		=	2.930	%	OF TOTAL DOMESTIC G.F.A.
6% OF TOTAL DOMESTIC G.F.A.	10028.952 s.m. x 6%	=	601.737	s.m.	
2.5% OF TOTAL DOMESTIC G.F.A.	10028.952 s.m. x 2.5%	=	250.724	s.m.	
PERMITTED EXEMPTION DOMESTIC G.F.A. FROM LIFT SHAFTS					
293.895 s.m. - (10028.952 s.m. x 2.5 %)		=	43.171	s.m.	**(CONCESSIONS ITEM 18)**
3.5% OF TOTAL DOMESTIC G.F.A.	10028.952 s.m.	=	351.013	s.m.	(NOT EXCEEDING 3.5% OF THE TOTAL DOMESTIC G.F.A.)
ACTUAL DOMESTIC G.F.A.	10028.952 s.m.	-	43.171	s.m.	
	TOTAL :	=	9985.781	s.m.	(PERMITTED EXEMPTION DOMESTIC G.F.A. FROM LIFT SHAFTS)

TOTAL NON-DOMESTIC G.F.A. CALCULATIONS

(PODIUM CAL. REFER DWG. NO. C051 TO C052)

B1F	RETAIL	=	875.406	s.m.
G/F	RETAIL & ARCADE	=	1415.101	s.m.
1/F	RETAIL & ARCADE	=	1693.067	s.m.
1/F & 2/F	RRF	=	179.919	s.m.
	TOTAL :	=	4163.493	s.m.

RESIDENT'S RECREATIONAL FACILITIES (R.R.F.) CALCULATION

(10% CAP ON G.F.A. CONCESSIONS TABLE ITEM 15)
(CALCULATION REFER DWG. NO. C052 & C053)

1/F	(NOTE DWG NO. C052)	=	31.431	s.m.
2/F	(NOTE DWG NO. C053)	=	647.777	s.m.
	TOTAL	=	679.208	s.m.

ACCOUNTABLE NON-DOMESTIC GFA FOR RRF

5% OF ACTUAL DOMESTIC GFA = 9985.781 x 5%	=	499.289	s.m. **(CONCESSIONS ITEM 15)**
= 679.208 - 499.289	=	179.919	s.m.

NUMBER OF UNIT CALCULATION

3F ~ 22F	12	UNITS x	20	STOREYS	=	240	UNIT
				TOTAL :	=	240	UNIT

CALCULATION AREA OF T.B.E. ROOM

UNDER PNAP APP-84
(CALCULATION REFER DWG. NO. C051)

TOTAL NO. OF UNIT :	=	240	UNIT	
ACTUAL T.B.E. ROOM PROVIDED (FOR DOMESTIC)	=	27.971	s.m.	[24 s.m. (min.) ~ 31 s.m. (max.)]
ACTUAL T.B.E. ROOM PROVIDED (FOR NON-DOMESTIC)	=	27.144	s.m.	[22 s.m. (min.) ~ 28 s.m. (max.)]
TOTAL U.F.S. OF NON-DOMESTIC				
CALCULATION AREA OF OWNER'S CORPORATION OFFICE (O.C.O.)	=	20.000	s.m.	
(CALCULATION REFER DWG. NO. C052)				
ACTUAL O.C.O. AREA	=	19.972	s.m.	< 20 s.m.

REFUSE STORAGE & MATERIAL RECOVERY CHAMBER NET FLOOR CALCULATION

(CALCULATION REFER DWG. NO. C055 ~ C057)

TOTAL U.F.S. OF NON-DOMESTIC				
B1/F	RETAIL	=	565.752	s.m.
G/F	RETAIL & ARCADE	=	1055.322	s.m.
1/F	RETAIL & ARCADE	=	1399.407	s.m.
2/F	RESIDENT'S RECREATIONAL FACILITIES	=	231.097	s.m.
	SUB-TOTAL :	=	3251.578	s.m.

TOTAL U.F.S. OF DOMESTIC							
3F ~ 22F	300.138	s.m. (EACH FLOOR) x	20	STOREYS	=	6002.760	s.m.
				SUB-TOTAL :	=	6002.760	s.m.

REQUIRED MIN. RS&MRC AREA FOR DOMESTIC	=	6002.760	s.m. / 347	=	17.299	s.m.	
REQUIRED MIN. RS&MRC AREA FOR NON-DOMESTIC	=	3251.578	s.m. / 925	=	3.515	s.m.	
			TOTAL :	=	20.814	s.m.	
ACTUAL REFUSE STORAGE & MATERIAL RECOVERY CHAMBER				=	35.835	s.m.	> 20.814 s.m.

REQUIRED NO. OF CARPARK SPACE FOR RESIDENTIAL & RETAIL (ACCORDING TO LEASE REQUIREMENTS)

	FLOOR	STOREY	COMMON AREA (excluding E/M & green features)	NET GFA	1	2	3	4	5	6	7	8	9	10	11	12	SUB-TOTAL	TOTAL
TOWER	3/F ~ 22/F	20	83.107	NET GFA	57.825	29.888	29.986	29.986	29.888	57.825	36.469	19.654	27.744	26.694	19.669	36.469	402.097	**8041.940**
				TOTAL GFA (INCLUDING COMMON AREA ON PRO-RATA BASIS)	71.802	37.112	37.234	37.234	37.112	71.802	45.284	24.405	34.450	33.146	24.423	45.284		
	SUB-TOTAL		1662.140															**8041.940**
	TOTAL TOWER DOMESTIC G.F.A.			8041.940														
	TOTAL TOWER COMMON AREA			1662.140														
	TOTAL PODIUM DOMESTIC G.F.A.			324.872														
	LIFT EXEMPTED AREA UNDER PNAP APP-89			43.171														

COMPARISON OF THE INTERNAL TRANSPORT FACILITIES

NUMBER OF UNIT	UNIT SIZE (s.m.) LESS THAN 40 s.m.	40 - 70 s.m.	70 - 100 s.m.
	200	40	0
TOTAL	240		
NON-DOMESTIC GFA =	4163.493	s.m.	

SITE COVERAGE & PLOT RATIO CALCULATION (UNDER BO)

SITE AREA		=	2507.730	s.m.
CLASS OF SITE		=	C	
HEIGHT OF BUILDING		=	75.05 m	
	[80 m (MAIN ROOF LEVEL) - 4.95 m (MEAN STREET LEVEL)]			
PERMITTED DOMESTIC SITE COVERAGE (OVER 61 m)		=	40%	
PROPOSED DOMESTIC SITE COVERAGE (OVER 61 m)	(REFER C053)	=	685.553	s.m.
		=	685.553	/ 2507.73 s.m. x 100 %
		=	27.338 %	< 40 %
PERMITTED NON-DOMESTIC SITE COVERAGE (NOT EXCEEDING 15m)		=	100 %	
PROPOSED NON-DOMESTIC SITE COVERAGE (EXCEEDING 15m)	(REFER C056)	=	1837.404	s.m.
		=	1837.404	/ 2507.73 s.m. x 100 %
		=	73.27 %	< 100 %
PERMITTED NON-DOMESTIC PLOT RATIO		=	15	
PERMITTED DOMESTIC PLOT RATIO		=	10	
PROPOSED DOMESTIC G.F.A.		=	9985.781	s.m.
PROPOSED NON-DOMESTIC G.F.A.		=	4163.493	s.m.
PROPOSED NO. OF UNITS		=	240	UNIT
ACTUAL NON DOMESTIC PLOT RATIO				
= 4163.493 / 2507.73		=	1.660	< 15
PERMITTED DOMESTIC PLOT RATIO (RESIDUE METHOD)				
= (15 - 1.66) / 15 x 10		=	8.893	
ACTUAL DOMESTIC PLOT RATIO				
= 9985.781 / 2507.73		=	3.982	< 8.893

OPEN SPACE REQUIRED :

(CALCULATION REFER DWG. NO. C056)

1 / 4 OF DOMESTIC ROOF OVER AREA	=	685.553	s.m.	x	0.250	
	=	171.388	s.m.			
ACTUAL OPEN SPACE PROVIDED	=	#REF!	s.m.	>	171.388	s.m.

SITE COVERAGE & PLOT RATIO CALCULATION (UNDER TPO)

SITE AREA	=	2507.730	s.m.	
MAXIMUM PLOT RATIO (OZP)	=	9		
PERMITTED TOTAL GFA (OZP)	=	22569.570	s.m.	
PERMITTED DOMESTIC PLOT RATIO (OZP)	=	7.5		PERMITTED DOMESTIC PLOT RATIO (OZP) : UNRESTRICTED
PERMITTED DOMESTIC GFA (OZP)	=	18807.975	s.m.	PERMITTED DOMESTIC GFA (OZP) : -
PROPOSED DOMESTIC G.F.A. (OZP)	=	9985.781	s.m.	< 18807.975 s.m
PROPOSED NON-DOMESTIC G.F.A. (OZP)	=	4163.493	s.m	
PROPOSED TOTAL G.F.A. (OZP)	=	14149.274	s.m.	< 22569.57 s.m
PROPOSED DOMESTIC PR (OZP)	=	3.982		(domestic)
PROPOSED NON-DOMESTIC PR (OZP)	=	1.66		(non-domestic)
PROPOSED TOTAL PR (OZP)	=	5.642		< 9

GREENERY AREA OF THE LOT

REQUIRED TOTAL GREENERY AREA OF THE LOT	=	20	%	(Min.)	
ACTUAL TOTAL GREENERY AREA OF THE LOT	=	558.725	s.m. /	2507.730	s.m. x 100 %
(CALCULATION REFER DWG. NO. C072)	=	22.280	%	>	20 %
REQUIRED GREENERY AREA ON PRIMARY ZONE	=	10	%	(Min.)	
GREENERY AREA ON PRIMARY ZONE	=	558.725	s.m. /	2507.730	s.m. x 100 %
	=	22.280	%	>	10 %

REQUIRED PLANTING AREA PROVIDED SHALL BE VISIBLE TO PEDESTRIANS OR ACCESSIBLE BY ANY PERSON OR PERSONS ENTERING THE LOT

$$= \frac{\text{GREENERY AREA ON PRIMARY ZONE}}{\text{SITE AREA}} \times 100\%$$

$$= \frac{558.725}{2507.730} \times 100\%$$

$$= 22.280\% \geq 10\%$$

Development Schedule

A. LOCATION & LOT NO: T.K.O.T.L. 39.SS.6 S.Q.R.P.

B. SITE AREA : 2507.730 m^2 (approx)

C. HEIGHT OF BUILDING

Block	No. of Storeys	Proposed Height of Building	Height Restrictiions under Lease	Special Condition Referred	AP's Confirmation (Dwg No.)
1	25	75m	Not specified	SC	C041

D. LEASE REQUIREMENTS

Items		Proposed	Required / Permitted under Lease	Relevant Departments	Special Condition Referred	AP's Confirmation (Dwg No.)
1	User	Composite Development	not specified	N/A	SC	C041,C042
2	Type of Building	Composite Building	not specified	N/A	SC	C041,C042
3	Gross Floor Area	Domestic : 9985.781 s.m. Non-Domestic : 4163.493 s.m.	not specified	N/A	SC	C041
4	Site Coverage	Domestic : 27.338 % Non-Domestic : 73.27 %	not specified	N/A	SC	C041
5	Building Separation	Lp:52.120m < 60m i.e. no. requirement on building separation	not specified	N/A	SC	C071
6	Building Setback	Building setback at xx Street (7.5m from centre line)	not specified	N/A	SC	C071
7	Greenery Requirement	22.28%	not specified	N/A	SC	C072
8	Design and Disposition / Design Disposition and Height	N/A	(Please refer to the aspects that will be generally considered under DDH/DD clause stated in the LAO Practice Note 3/2014)	N/A	SC	N/A
9	Carpark	13 nos. for resident: 5 nos. for visitors; 19 nos. for retail	not specified	N/A	SC	A003, A004, C041
10	Loading and Unloading Requirements	1 no. for residents 3 nos. for retail	not specified	N/A	SC	A004, C041
11	Vehicular Access	Vehicular access through Run-in/out at xx Street	not specified	N/A	SC	A005
12	Caretaker's - Office Accommodation	N/A	not specified	N/A	SC	N/A
	- Quarters	N/A	not specified	N/A	SC	N/A
13	Owners' Corporation and Owners' Committee office	19.972 s.m.	not specified	N/A	SC	A007, C041
14	Recreational Facilities	679.208 s.m.	not specified	N/A	SC	A007, A007, C041
15	Non-building Area (e.g.Drainage Reserve Area and Waterworks Reserve Area,etc	N/A	not specified	N/A	SC	N/A
16	Formation Areas (e.g. Green, Yellow etc.)	N/A	not specified	N/A	SC	N/A
17	Tree Preservation	N/A	not specified	N/A	SC	N/A
18	Landscaping	N/A	not specified	N/A	SC	N/A
19	Other Special Requirements under Lease (e.g. footbridge, open space provision)	N/A	not specified	N/A	SC	N/A

HKPSG RECOMMENDATIONS

(i) CAR PARKING SPACES FOR RESIDNETS
GPS: 1 CAR SPACE PER 6 - 9 FLATS
DEMAND ADJUSTMENT RATIO (R1)
= 0.4 FOR FLAT SIZE ≤ 40 s.m.
= 0.7 FOR 40 s.m. < FLAT SIZE ≤ 70 s.m.
ACCESSIBILITY ADJUSTMENT RATIO (R2): 0.75 FOR OVER 50% OF THE SITE AREA OF THE DEVELOPMENT FALL WITHIN A 500 m RADIUS OF RAIL STATIONS.THE 500 m-RADIUS CATCHMENT AREA OF A RAIL STATION SHOULD BE DRAWN FROM THE CENTRE OF THE STATION DISREGARD OF TOPOGRAPHIC UNDULATION.
DEVELOPMENT INTENSITY ADJUSTMENT RATIO (R3) = 0.9 FOR DOMESTIC PLOT RATIO > 5.00 AND < 8.00.

LESS THAN 40 SQUARE METERS	=	200	FLAT
MAX : (480 / 6 x 0.4 x 0.75 x 0.9)	=	9	NOS.
MIN : (480 / 9 x 0.4 x 0.75 x 0.9)	=	6	NOS.
NOT LESS THAN 40 SQUARE METERS BUT LESS THAN 70 SQUARE METERS	=	40	FLAT
MAX : (40 / 6 x 0.7 x 0.75 x 0.9)	=	4	NOS.
MIN : (40 / 9 x 0.7 x 0.75 x 0.9)	=	3	NOS.
TOTAL MAX. CARPARK SPACES FOR RESIDNETS	=	13	NOS.
TOTAL MIN. CARPARK SPACES FOR RESIDNETS	=	9	NOS.

(ii) CAR PARKING SPACES FOR VISITORS
1 - 5 VISITOR CAR PARKING SPACES FOR DEVELOPMENTS WITH MORE THAN 75 UNITS PER BLOCK, OR AS DETERMINED BY THE AUTHORITY. FOR OTHER PRIVATE RESIDENTIAL DEVELOPMENTS, THIS PROVISION WILL BE ADVISED BY TRANSPORT DEPARTMENT ON A CASE-BY-CASE BASIS.

MAX. FOR 1 BLOCK WITH 520 FLATS	=	5	NOS.
MIN. FOR 1 BLOCK WITH 520 FLATS	=	1	NOS.

(iii) CAR PARKING SPACES FOR RETAIL
1 SPACE PER 200 s.m. - 300 s.m. G.F.A.

MAX.: 4163.493 s.m. / 200	=	21	NOS.
MIN.: 4163.493 s.m. / 300	=	14	NOS.

TOTAL PROPOSED CAR PARKING SPACES (i) + (ii) + (iii)
FOR TOTAL NO. OF CAR PARKING SPACE IN THE LOT = 1 - 38, REQUIRED NO. OF ACCESSIBLE CAR PARKING SPACE = 1 NO.
13 + 5 + 19 = 37 NOS. [36 NOS @ 5m (L) X 2.5m (W) X 2.4m (H) & 1 NO. 5m (L) X 3.5m (W) X 2.4m (H)]
FOR PERSONS WITH DISABILITIES]

(iv) GOODS VEHICLE LOADING / UNLOADING BAY FOR RESIDENTIAL
1 SPACE PER EVERY 800 FLATS OR PART THEREOF OR AS DETERMINED BY AUTHORITY

i.e. REQUIRED LOADING / UNLOADING BAY FOR RESIDENTIAL	=	1	No.
TOTAL PROPOSED GOODS VEHICLE LOADING / UNLOADING BAY FOR RESIDENTIAL	=	1	No.

1 NO. [1 NO LGV @ 7m (L) X 3.5m (W) X 3.6m (H)]

(v) GOODS VEHICLE LOADING / UNLOADING BAY FOR RETAIL
1 SPACE PER 800 - 1,200 s.m., OR PART THEREOF, OF G.F.A. WITH 65% FOR LGV AND 35% FOR HGV

MAX.: 4163.493 s.m. / 800	=	5	NOS.
MIN.: 4163.493 s.m. / 1200	=	3	NOS.

TOTAL MINIMUM GOODS VEHICLE LOADING / UNLOADING BAYS (iv) + (v)
3 NOS. [3 NOS LGV @ 7m (L) X 3.5m (W) X 3.6m (H)]

(vi) MOTORCYCLE PARKING SPACES FOR RESIDENTIAL USE
IN THE CASE OF PRIVATE HOUSING, THE CALCULATION SHALL BE BASED ON 1 MOTORCYCLE PARKING SPACE PER 100-150 FLATS EXCLUDING NON-RESIDENTIAL ELEMENTS.

MAX.: 240 s.m. / 100	=	3	NOS.
MIN.: 240 s.m. / 150	=	2	NOS.

(vii) MOTORCYCLE PARKING SPACES FOR RETAIL
AT THE RATE OF 5-10% OF THE TOTAL PROVISION FOR PRIVATE CARS

MAX.: 21 x 10 %	=	3	NOS.
MIN.: 14 x 5 %	=	1	NOS.

TOTAL PROPOSED MOTORCYCLE PARKING SPACES (vi) + (vii)
3 + 2 = 5 NOS. @ 2.4m (L) X 1 (W)

BD REF	2/1234/18
BIM REF	2-1234-18-A21-01
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Rev.	Date	Amendment	Purpose

9/11/2019 3:52 PM

PROJECT
BD SAMPLE - PROPOSED 20-STOREY RESIDENTIAL BUILDING OVER 3-STOREY PODIUM AT TKO

DRAWING TITLE
CALCULATIONS

SCALE N.T.S.(A1)

DRAWING NO. C041
REV. NO. -

SOURCE

90mm (W) x 40mm (H) space for COMPANY LOGO

90mm (W) x 60mm (H) space for AP/RSE/RGE's signature/ and stamp chop

90mm (W) x 150mm (H) space for BD's approval stamp / certification of copies of approved plans (PNAP ADM-10 APP A)

FIRE RESISTANCE REQUIREMENT FOR ELEMENTS OF CONSTRUCTION

LOCATION	TYPE OF ACCOMMODATION	USE CLASSIFICATION	COMPARTMENT OF BUILDING		FIRE RESISTANCE RATING (minutes) FOR ELEMENTS OF CONSTRUCTION	MINIMUM DIMENSION OF ELEMENTS OF CONSTRUCTION							
						R.C. SLAB		R.C. BEAM		R.C. COLUMN		R.C. WALL	
			FLOOR AREA (m²)	VOLUME (m³)		THICKNESS	CONCRETE COVER TO REINFORCEMENT	THICKNESS	CONCRETE COVER TO REINFORCEMENT	THICKNESS	CONCRETE COVER TO REINFORCEMENT	THICKNESS	CONCRETE COVER TO REINFORCEMENT
B2F & B1F	CARPARK	7	NOT EXCEEDING 10500	NOT EXCEEDING 7000 FOR F.S.D.	240 / 240 / 240	170	55* (simply supported) 45* (continuous)	280	80* (simply supported) 60* (continuous)	450	35	180	25
B1F	RETAIL	4b	NOT EXCEEDING 2500	NOT EXCEEDING 7000 FOR F.S.D.	240 / 240 / 240	170	55* (simply supported) 45* (continuous)	280	80* (simply supported) 60* (continuous)	450	35	180	25
G/F - 1/F	RETAIL & ARCADE	4b	NOT EXCEEDING 2500	NOT EXCEEDING 7000 FOR F.S.D.	60	100	20 (simply supported) 20 (continuous)	200	30 (simply supported) 30 (continuous)	200	25	75	15
2/F	RRF	5d	NOT EXCEEDING 2500	NOT EXCEEDING 7000 FOR F.S.D.	60	100	20 (simply supported) 20 (continuous)	200	30 (simply supported) 30 (continuous)	200	25	75	15
TOWER (3/F - 22/F)	EACH FLOOR DOMESTIC FLATS	1	NOT LIMITED	NOT LIMITED	60	100	20 (simply supported) 20 (continuous)	200	30 (simply supported) 30 (continuous)	200	25	75	15
BASEMENT, PODIUM & TOWER	ALL E&M ROOMS	8	-	-	120	125	35 (simply supported) 25 (continuous)	200	50* (simply supported) 40 (continuous)	300	35	100	25

REMARKS :
1. * Reinforcement consisting of expanded metal lath or a wire fabric not lighter than 0.5kg/m² with 2mm diameter wire at not more than 100mm centers or a continuous arrangement of links not more than 200mm centers shall be incorporated in the concrete cover at a distances not exceeding 20mm from the face.
2. * All floors transformer rooms, switch rooms. pump rooms, tbe rooms, lift machine rooms, emergency generator rooms and all electrical and special hazards rooms, tower roof lift machine room, pump rooms, wall & floor adjoining to the required staircases wall thickness 180mm cover to steel 25mm, floor thickness 170mm cover to steel 55mm*.
3. The special hazard room's or floors which adjoining to the exit staircase to be of -/240/240 minutes F.R.R.
4. Slab between B/F carpark and G/F should have an F.R.R. of less than - / 240 / 240.

PROVISIONS OF EXIT DOORS & EXIT ROUTES FROM ROOM, FIRE COMPARTMENT OR STOREY

LOCATION	USE CLASSIFICATION	TYPE OF ACCOMMODATION	TOTAL USABLE FLOOR AREA (m²)	FACTOR REPERSENTING s.m. OF UFA PER PERSON	TOTAL CAPACITY PER FLOOR (PERSON)	MIN. NO OF EXIT DOOR / ROUTE (FROM STOREY)		MIN. TOTAL WIDTH (mm)				MIN. WIDTH OF EACH (mm)			
								EXIT DOOR		EXIT ROUTE		EXIT DOOR		EXIT ROUTH	
						REQ.	PRO.	REQ.	PRO.	REQ.	PRO.	REQ.	PRO.	REQ.	PRO.
B2F	7	CARPARK	1554.014	30	52	2	4	1750	3600	2100	4200	850	900	1050	1050
B1F	7	CARPARK	861.170	30	29	2	2	1750	3600	2100	4200	850	900	1050	1050
	4b	RETAIL-B1	565.752	3	189	2	2	1750	3600	2100	4200	850	900	1050	1050
G/F	4b	ARCADE-G1	141.475	3	48	DIRECT EXIT TO ULTIMATE PLACE OF SAFETY									
		RETAIL-G1	121.852		41										
		RETAIL-G2	206.995		69										
		RETAIL-G3	373.048		125										
		RETAIL-G4	171.957		58										
		RETAIL-G5	39.995		14										
	TOTAL OCCUPANCY FOR G/F SHOPS & ARCADE				TOTAL = 355 P.										
1/F	4b	ARCADE-1F	129.333	3	44	2	4	3000	4200	3000	4200	1050	1050	1050	1050
		RETAIL-1F-1	122.278		41										
		RETAIL-1F-2	286.417		96										
		RETAIL-1F-3	334.367		112										
		RETAIL-1F-4	407.605		136										
		RETAIL-1F-5	99.338		34										
		RETAIL-1F-6	20.069		7										
	TOTAL OCCUPANCY FOR 1/F SHOPS & ARCADE				TOTAL = 470 P.										
	RECREATIONAL FACILITIES :														
2/F	-	LOUNGE AREA 2	20.072	3	7	2	4	1750	4200	2100	4200	850	900	1050	1050
	-	LOUNGE AREA 1	17.779	3	6										
	4a	MFXR	106.398	10	11										
	5d	GYM	59.889	3	20										
		OUTDOOR SWMP	64.563	3	22										
	6c	STO 1	6.987	30	1										
	-	OCO	19.972	9	3										
	TOTAL OCCUPANCY FOR 2/F SHOPS & ARCADE				TOTAL = 70 P.										
TOWER 3/F - 22/F (TOTAL = 20 S.)	1b	FLAT 1 ~ 12 (TOTAL = 12 FLATS)	261.690	4.5	TOTAL = 59 P.	2	2	1750	1800	2100	2100	850	900	1050	1050
			TOTAL = (59 x 20) = 1180 P.												

REMARKS :
1. ALL PLANT ROOM TAKE LARGEST AREA OF EACH FLOOR, ROOM AREA AS INDICATED ON PLAN
2. FOR CLASSIFICATION 8, IF THE NET FLOOR AREA OF A ROOM DOES NOT EXCEED 100m², THE OCCUPANT CAPACITY IS CONSIDERED TO BE ZERO.

SCHEDULE OF SANITARY FITMENT

MARK ○ INCLUSIVE ACCESSIBLE UNISEX TOILET

LOCATION	TYPE OF ACCOMMODATION	TOTAL USABLE FLOOR AREA (m²)	FACTOR REPERSENTING s.m. OF UFA PER PERSON	CAPACITY (PERSONS)		RATIO OF MALE TO FEMALE			W.C. PAN				BASIN				URINAL		BATH / SHOWER			
				TOTAL		RATIO	MALE	FEMALE	MALE		FEMALE		MALE		FEMALE		MALE		MALE		FEMALE	
									REQ.	PRO.	REQ.	PRO.	REQ.	PRO.	REQ.	PRO.	REQ.	PRO.	REQ.	PRO.	REQ.	PRO.
B1F	RETAIL-B1	REFER TO MEANS OF ESCAPE		189	P.	1.1.5	76	113	1	3	2	ⓑ	1	3	1	Ⓢ	1	3	-	-	-	-
G/F	ARCADE-G1			48	TOTAL = 825 P.	1.1.5	330	495	3	3	8	Ⓑ	3	4	4	Ⓢ	2	3	-	-	-	-
	RETAIL-G1			41																		
	RETAIL-G2			69																		
	RETAIL-G3			125																		
	RETAIL-G4			58																		
	RETAIL-G5			14																		
1/F	ARCADE-1F			44																		
	RETAIL-1F-1			41																		
	RETAIL-1F-2			96																		
	RETAIL-1F-3			112																		
	RETAIL-1F-4			136																		
	RETAIL-1F-5			34																		
	RETAIL-1F-6			7																		
2/F	RECREATIONAL FACILITIES				TOTAL = 70 P.	1:1	35	35	1	3	2	Ⓢ	1	4	1	Ⓢ	1	4	-	3	-	4
	LOUNGE AREA 2			7																		
	LOUNGE AREA 1			6																		
	MFXR			11																		
	GYM			20																		
	OUTDOOR SWMP			22																		
	STO 1			1																		
	OCO			3																		
(FOR RESIDENTIAL TOWERS)									REQ.		PRO.		REQ.		PRO.		REQ.		REQ.		PRO.	
TOWER 3/F ~ 22/F (20 STOREYS)	DOMESTIC FLAT NO. 1 (TAKE LARGEST AREA FLAT)	36.793	4.5	9	P.	-	-	-	1		2		1		2		-		1		2	

PROVISIONS OF MEANS OF ESCAPE IN CASE OF FIRE

LOCATION	TYPE OF ACCOMMODATION	TOTAL USABLE FLOOR AREA (m²)	FACTOR REPERSENTING s.m. OF UFA PER PERSON	TOTAL CAPACITY PER FLOOR (PERSON)		TOTAL CAPACITY OF STOREYS SERVED BY STAIRS (PERSON)	NUMBER & STAIRS PROVIDED IN THE BUILDING	NUMBER OF STOREY ABOVE GROUND		WIDTH OF STAIRS (mm)	TOTAL DISCHARGE VALUE OF THE STAIRS (PERSON) (# NON-SRPINKLER BUILDING) (* SPRINKLER BUILDING)
B2F	CARPARK	REFER TO MEANS OF ESCAPE			52	13 BS-01	BS-01	B2F~G/F	BELOW GROUND 1 STOREY	1050	# [210 x 0.8] = 168 > 13
						13 BS-02	BS-02	B2F~G/F	BELOW GROUND 2 STOREYS	1050	# [242 x 0.8] = 193 > 68
						13 BS-03	BS-03	B2F~G/F	BELOW GROUND 2 STOREYS	1050	# [242 x 0.8] = 193 > 68
						13 BS-04	BS-04	B2F~G/F	BELOW GROUND 2 STOREYS	1050	# [242 x 0.8] = 193 > 67
B1F	CARPARK			29	218	55 BS-02	BS-05	B1F~G/F	BELOW GROUND 1 STOREY	1050	# [210 x 0.8] = 168 > 54
	RETAIL-B1			189		55 BS-03					
						54 BS-04					
						54 BS-05					
1/F	ARCADE-1F			44	470	118 ST-01	ST-01	G/F~22/F	ABOVE GROUND 22 STOREYS	1050	# [498 + (32x12)] = 882 > 726
	RETAIL-1F-1			41		118 ST-02	ST-02	G/F~22/F	ABOVE GROUND 22 STOREYS	1050	# [498 + (32x12)] = 882 > 726
	RETAIL-1F-2			96		117 ST-03	ST-03	G/F~2/F	ABOVE GROUND 2 STOREYS	1050	# 242 > 134
	RETAIL-1F-3			112		117 ST-04	ST-04	G/F~2/F	ABOVE GROUND 2 STOREYS	1050	# 242 > 134
	RETAIL-1F-4			136							
	RETAIL-1F-5			34							
	RETAIL-1F-6			7							
2/F	RECREATIONAL FACILITIES				70	18 ST-01					
	LOUNGE AREA 2			7		18 ST-02					
	LOUNGE AREA 1			6		17 ST-03					
	MFXR			11		17 ST-04					
	GYM			20							
	OUTDOOR SWMP			22							
	STO 1			1							
	OCO			3							
TOWER 3/F - 22/F (TOTAL = 20 S.)	FLAT 1 ~ 12 (TOTAL = 12 FLATS)			59	1180	590 ST-01					
						590 ST-02					

Item		GFA Exempted (s.m.) (No. Cap)	GFA Exempted (sq. m.) Subject to Overall Cap of 10% under PNAP APP-151		GFA Exempted (sq. m.) Subject to Overall Cap of 10% under PNAP APP-151	
Disregarded GFA under Regulations 23(3)(b) of the Building (Planning) Regulations (B(P)R)			Refer Dwg. No.	(DOMESTIC)	Refer Dwg. No.	(NON-DOMESTIC)
1	Carpark and loading / unloading area excluding public transport terminus	3040.334				
Plant rooms and similar services						
2.1	Mandatory feature or essential plant room, area of which is limited by respective PNAP or regulation, such as lift machine room, TBE room, refuse storage chamber, etc.	294.138				
2.2	Mandatory feature or essential plant room, areas of which is NOT limited by any PNAP or regulation, such as room occupied solely by FSI and equipment, meter room, transformer room, potable and flushing water tank, etc.	546.506				
2.3	Non-mandatory or non-essential plant room, such as A/C plant room, AHU room, etc.	35.454		Not Applicable	C053	35.45
Disregarded GFA under Regulations 23A(3) of the B(P)R						
3	Area for picking up and setting down persons departing from or arriving at the hotel by vehicle					
4	Supporting facilities for a hotel					
Green Features under Joint Practice Notes (JPNs)						
5	Balcony for residential buildings	240.000	C053	240.000		Not Applicable
6	Wider common corridor and lift lobby					
7	Communal sky garden					
8	Communal podium garden for non-residential buildings					
9	Acoustic fin					
10	Wing wall, wind catcher and funnel					
11	Non-structural prefabricated external wall	23.760	C053	23.760		Not Applicable
12	Utility platform	60.000	C053	60.000		Not Applicable
13	Noise barrier					
Amenity Features						
14	Counter, office, store, guard room and lavatory for watchman and management staff, Owners' Corporation Office	19.972	C053	19.972		Not Applicable
15	Residential recreational facilities including void, plant room, swimming pool filtration plant room, covered walkway etc serving solely the recreational facilities	499.289	C053	499.289		Not Applicable
16	Covered landscaped and play area	105.383				
17	Horizontal screen/covered walkway, trellis					
18	Larger lift shaft	43.171	C041	43.171		Not Applicable
19	Chimney shaft					
20	Other non-mandatory or non-essential plant room, such as boiler room, SMATV room					
21	Pipe duct, air duct for mandatory feature or essential plant room	135.122				
22	Pipe duct, air duct for non-mandatory or non-essential plant room					
23	Plant room, pipe duct, air duct for environmentally friendly system and feature					
24	High headroom and void in front of cinema, shopping arcade etc. in non-domestic development					
25	Void over main common entrance (prestige entrance) in non-domestic development					
26	Void in duplex domestic flat and house					
27	Sunshade and reflector					
28	Minor projection such as AC box, window cill, projecting window	279.129				
29	Other projection such as air-conditioning box and flatform with a projection of more than 750MM from the external wall					
Other Items						
30	Refuge floor including refuge floor cum sky garden					
31	Covered area under large projecting / overhanging feature					
32	Public transport terminus (PTT)					
33	Party structure and common staircase					
34	Horizontal area of staircase, lift shaft and vertical duct solely serving floor accepted as not being accountable for GFA	78.819				
35	Public passage					
36	Covered set back area					
Bonus GFA						
37	Bonus GFA					
Additional Green Features under JPN						
38	Building adopting Modular Intergrated Construction					
Total Exempted GFA		5401.077		886.192		35.454
Total Domestic GFA				9985.781		
Total Non-Domestic GFA						4163.493
Percentage (%)				8.875%		0.852%
Under Lease						
Total Exempted GFA		5401.077		886.192		
Total Domestic GFA				9985.781		
Percentage (%)				8.875%		

SUMMARY OF GFA CONCESSIONS
(CAL. REFER DWG. NO. C051~C053)

DOMESTIC / NON-DOMESTIC GFA CONCESSIONS (s.m.)

FLOOR	1	2.1	2.2	2.3	5	11	12	14	15	16	18	21	28	34
				NON-DOM				DOMESTIC					(4/F~22/F)	
B2F	1900.881	-	146.914	-	-	-	-	-	REF. DWG. C041	-	REF. DWG. C041	-	-	-
B1F	959.533	27.144	140.706	-	-	-	-	-		-		12.190	-	32.829
G/F	179.920	63.806	30.141	-	-	-	-	-		21.284		31.498	-	45.990
1F	-	-	89.850	-	-	-	-	-		-		-	-	-
2/F	-	-	68.555	35.454	-	-	-	19.972		84.099		6.994	-	-
3F~22F	-	48.040	70.340	-	240.000	23.760	60.000	-		-		84.440	279.129	-
RF	-	108.492	-	-	-	-	-	-		-		-	-	-
UR1F	-	46.656	-	-	-	-	-	-		-		-	-	-
TOTAL	3040.334	294.138	546.506	35.454	240.000	23.760	60.000	19.972	499.289	105.383	43.171	135.122	279.129	78.819

COMPLIANCE WITH SBD GUIDELINES AS STIPULATED IN PNAP APP-152

1, BUILDING SEPARATION	MAXIMUM FACADE LENGTH Lp= 52.120m < 60m for entire building * refer to G/F plan dwg. C071
2, SITE COVERAGE OF GREENERY	GREENERY WITH AREA OF 20% of the site area is provided, out of which half of such green area is within pedestrian zone * refer to greenery area diagram C072

BD REF	2/1234/18
BIM REF	2-1234-18-A21-01
FSD REF	FP 8/

Rev.	Date	Amendment	Purpose

9/11/2019 3:52 PM

PROJECT
BD SAMPLE - PROPOSED 20-STOREY RESIDENTIAL BUILDING OVER 3-STOREY PODIUM AT TKO

DRAWING TITLE
SCHEDULE

SCALE N.T.S.(A1)

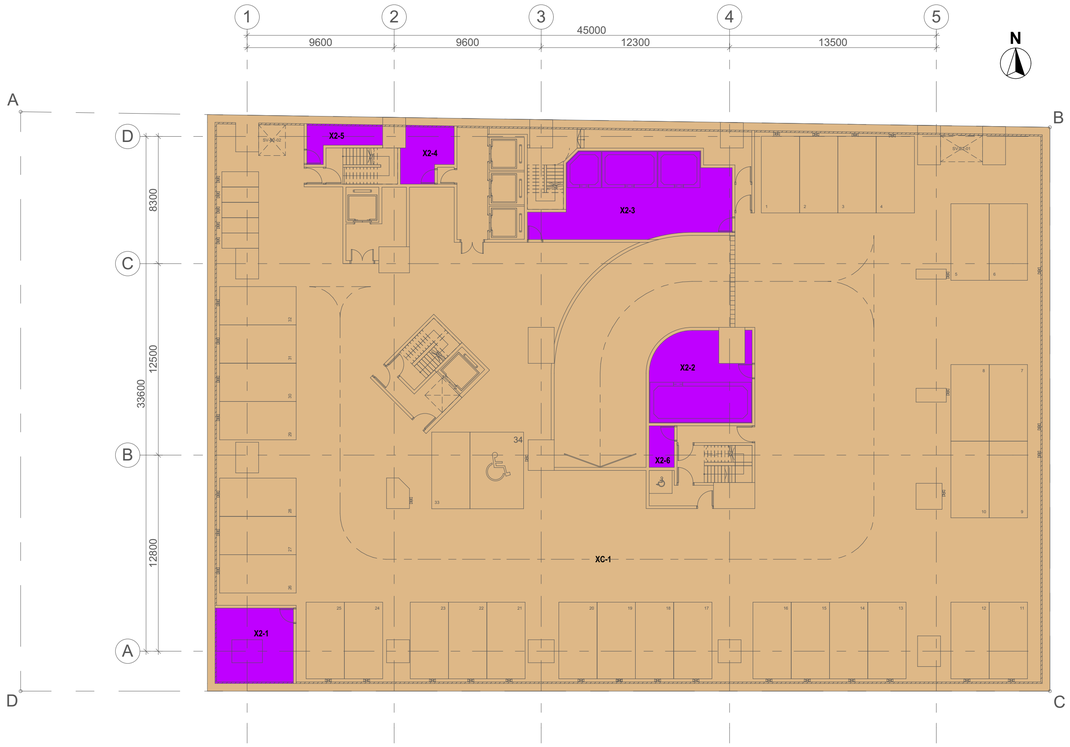
DRAWING NO. C042
REV. NO. -

SOURCE

90mm (W) x 40mm (H) space for COMPANY LOGO

90mm (W) x 60mm (H) space for AP/RSE/RGE's signature/ and stamp chop

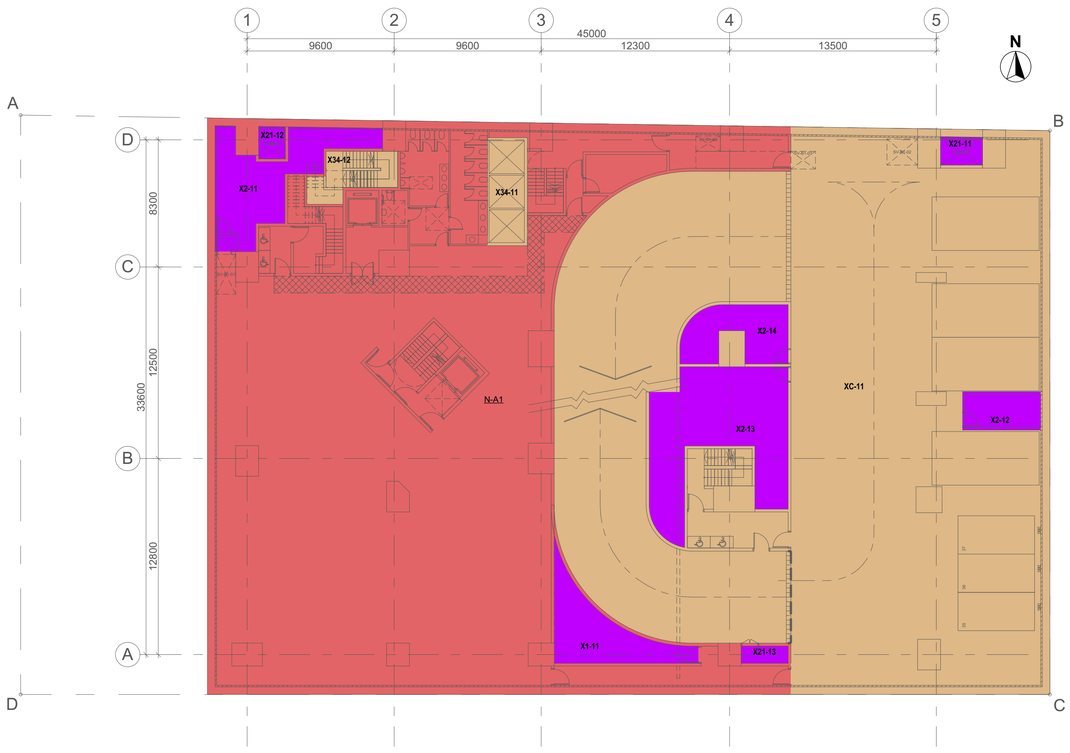
90mm (W) x 150mm (H) space for BD's approval stamp / certification of copies of approved plans (PNAP ADM-10 APP A)



CONCESSION CALCULATION AT B2F

CONCESSION ITEM 1			CONCESSION ITEM 2.2		
AREA NO.	Name	(S.M.) ②	AREA NO.	Name	(S.M.) ②
XC-1	CARPARK	1900.881	X2-1	EVCR	25.190
			X2-2	SPR WTPR	35.294
			X2-3	PFWTPR	62.576
			X2-4	CWPR	11.291
			X2-5	FAN RM	8.110
			X2-6	SPR PR	4.453
		1900.881			146.914

DOMESTIC & NON- DOMESTIC G.F.A. DIAGRAM OF B2/F



NON-DOMESTIC G.F.A. CALCULATION AT B1F

NON-DOMESTIC AREA	
AREA NO.	(S.M.) ①
N-A1	875.406
	875.406

CONCESSION CALCULATION AT B1F

CONCESSION ITEM 1			CONCESSION ITEM 2.1			CONCESSION ITEM 2.2		
AREA NO.	Name	(S.M.) ②	AREA NO.	Name	(S.M.) ②	AREA NO.	Name	(S.M.) ③
XC-11	CARPARK	959.533	X1-11	TBE (NDOM)	27.144	X2-11	IRR WTPR	39.545
						X2-12	EVCR	12.754
						X2-13	FSPR	66.398
						X2-14	SWITCH RM	22.009
		959.533			27.144			140.706

CONCESSION CALCULATION AT B1F

CONCESSION ITEM 21			CONCESSION ITEM 34		
AREA NO.	Name	(S.M.) ②	AREA NO.	Name	(S.M.) ①
X21-11	SV-B2-01	5.046	X34-11	LFS	18.330
X21-12	SV-B2-02	3.700	X34-12	BS-01	14.499
X21-13	PD	3.444			
		12.190			32.829

DOMESTIC & NON- DOMESTIC G.F.A. DIAGRAM OF B1/F

BD REF	2/1234/18
BIM REF	2-1234-18-A21-01
FSD REF	FP 8/

Rev.	Date	Amendment	Purpose

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PROJECT

BD SAMPLE - PROPOSED 20-STOREY RESIDENTIAL BUILDING OVER 3-STOREY PODIUM AT TKO

DRAWING TITLE

CALCULATIONS (1)

SCALE 1:200 (A1)

DRAWING NO. C051

REV. NO. -

SOURCE

90mm (W) x 40mm (H) space for COMPANY LOGO

90mm (W) x 60mm (H) space for AP/RSE/RGE's signature/ and stamp chop

90mm (W) x 150mm (H) space for BD's approval stamp / certification of copies of approved plans (PNAP ADM-10 APP A)

DOMESTIC G.F.A. CALCULATION AT G/F

DOMESTIC AREA	
AREA NO.	(S.M.) ①
D-A21	66.218
D-A22	4.725
	70.943

NON-DOMESTIC G.F.A. CALCULATION AT G/F

NON-DOMESTIC AREA	
AREA NO.	(S.M.) ①
N-A21	1412.603
N-A22	2.498
	1415.101

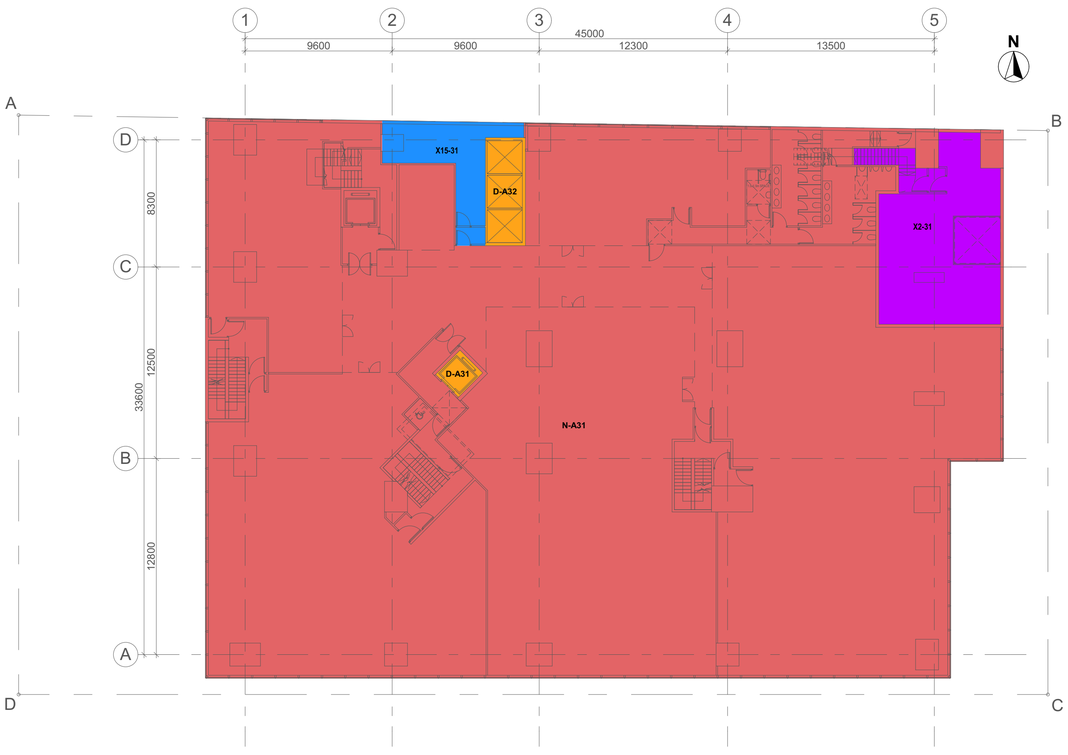
CONCESSION CALCULATION AT G/F

CONCESSION ITEM 1			CONCESSION ITEM 2.1			CONCESSION ITEM 16		
AREA NO.	Name	(S.M.) ②	AREA NO.	Name	(S.M.) ②	AREA NO.	Name	(S.M.) ②
XC-21	RAMP & L/UL	179.920	X1-21	RSMRR	35.835	X16-21	Covered Landscape	5.162
			X1-22	TBE (DOM)	27.971	X16-22	Covered Landscape	16.122
		179.920			63.806			21.284

CONCESSION CALCULATION AT G/F

CONCESSION ITEM 2.2			CONCESSION ITEM 21			CONCESSION ITEM 34		
AREA NO.	Name	(S.M.) ④	AREA NO.	Name	(S.M.) ④	AREA NO.	Name	(S.M.) ④
X2-21	FSCR	2.976	X21-21	SV-B2-01	6.419	X34-21	BS-01	19.610
X2-22	FSI	3.749	X21-22	SV-B2-02	4.963	X34-22	BS-03	26.380
X2-23	CMC	3.194	X21-23	SV-B1-01	4.890			
X2-24	GMC	3.148	X21-24	SV-B1-02	4.793			
X2-25	SPR CON VALVE	2.827	X21-25	SV-B1-03	4.142			
X2-26	TX-01	11.706	X21-26	PD	0.650			
X2-27	FSI	2.541	X21-27	PD	3.578			
			X21-28	PD	2.063			
		30.141			31.498			45.990

DOMESTIC & NON- DOMESTIC G.F.A. DIAGRAM OF G/F



DOMESTIC G.F.A. CALCULATION AT 1/F

DOMESTIC AREA	
AREA NO.	(S.M.) ①
D-A31	4.725
D-A32	18.330
TOTAL	23.055

NON-DOMESTIC G.F.A. CALCULATION AT 1/F

NON-DOMESTIC G.F.A.	
AREA NO.	(S.M.) ①
N-A31	1693.067
	1693.067

CONCESSION CALCULATION AT 1/F

CONCESSION ITEM 2.2			AREA CALCULATIONS AT 1/F RRF		
AREA NO.	Name	(S.M.) ②	AREA NO.	Name	(S.M.) ②
X2-31	TX RM	89.850	X15-31	FPR (RRF)	31.431
		89.850			31.431

DOMESTIC & NON- DOMESTIC G.F.A. DIAGRAM OF 1/F

BD REF	2/1234/18
BIM REF	2-1234-18-A21-01
FSD REF	FP 8/

Rev.	Date	Amendment	Purpose

9/11/2019 3:52 PM

PROJECT

BD SAMPLE - PROPOSED 20-STOREY RESIDENTIAL BUILDING OVER 3-STOREY PODIUM AT TKO

DRAWING TITLE

CALCULATIONS (2)

SCALE 1:200 (A1)

DRAWING NO. C052

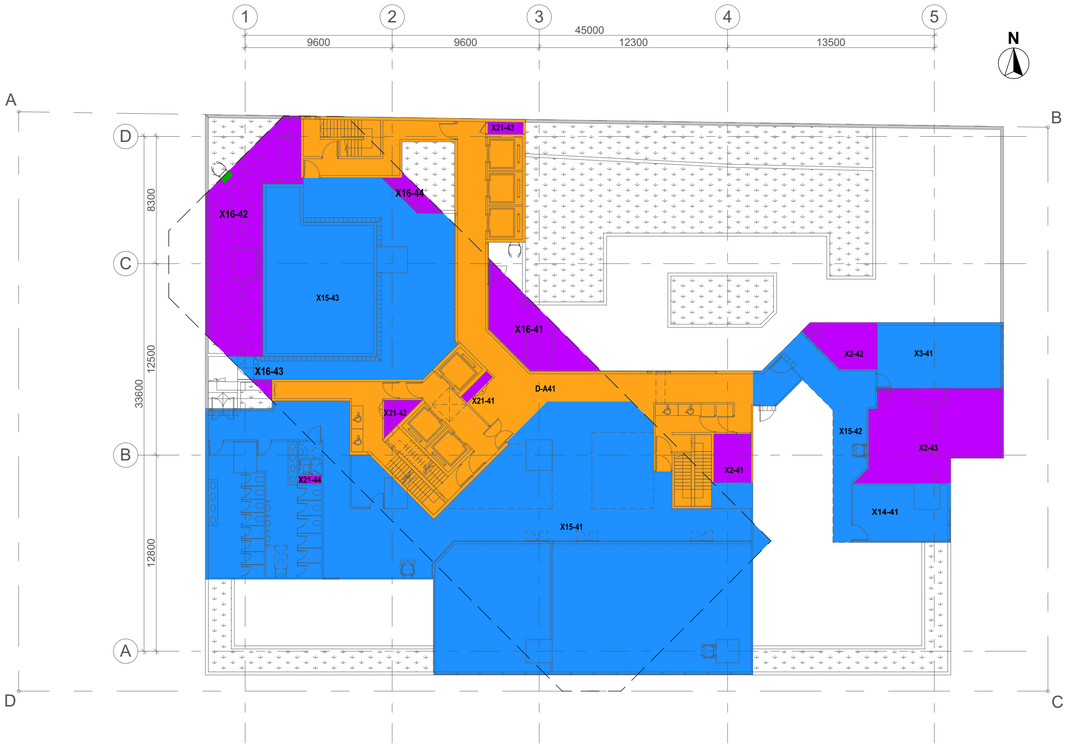
REV. NO. -

SOURCE

90mm (W) x 40mm (H) space for COMPANY LOGO

90mm (W) x 60mm (H) space for AP/RSE/RGE's signature/ and stamp chop

90mm (W) x 150mm (H) space for BD's approval stamp / certification of copies of approved plans (PNAP ADM-10 APP A)



DOMESTIC G.F.A. CALCULATION AT 2/F

DOMESTIC AREA	
AREA NO.	(S.M.) ①
D-A41	230.874
	230.874

CONCESSION CALCULATION AT 2/F

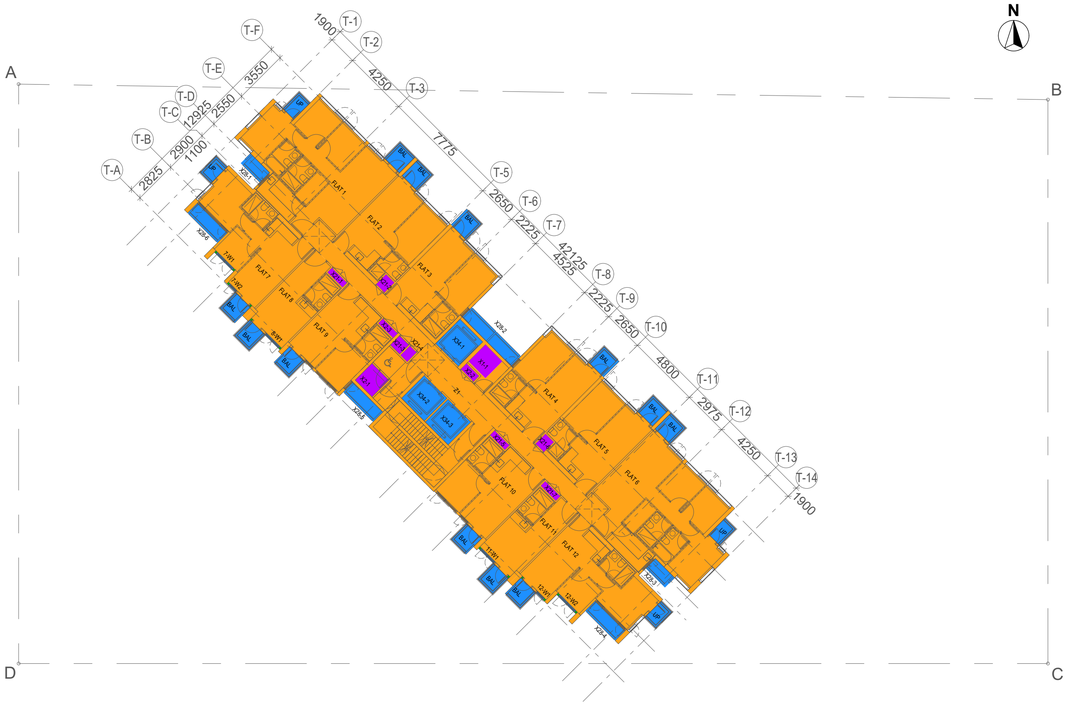
CONCESSION ITEM 2.2			CONCESSION ITEM 2.3			CONCESSION ITEM 14		
AREA NO.	Name	(S.M.) ②	AREA NO.	Name	(S.M.) ②	AREA NO.	Name	(S.M.) ②
X2-41	SWITCH RM	7.779	X3-41	ACPR	35.454	X14-41	OCO	19.972
X2-42	ELR	11.846						
X2-43	MAIN SWITCH RM (D	48.930						
		68.555			35.454			19.972

CONCESSION CALCULATION AT 2/F

CONCESSION ITEM 16			CONCESSION ITEM 21			AREA CALCULATIONS AT 2/F RRF		
AREA NO.	Name	(S.M.) ②	AREA NO.	Name	(S.M.) ②	AREA NO.	Name	(S.M.) ②
X16-41	Covered Landscape	23.136	X21-41	PD	1.293	X15-41	RRF	448.512
X16-42	Covered Landscape	55.937	X21-42	PD	3.120	X15-42	RRF	43.858
X16-43	Covered Landscape	0.972	X21-43	PD	1.831	X15-43	RRF	155.407
X16-44	Covered Landscape	4.054	X21-44	PD	0.750			
		84.099			6.994			647.777

AREA CALCULATION OF A/C PLANT ROOM AT 2/F (CONCESSION ITEM 2.3)
1% OF TOTAL NON-DOMESTIC GFA FOR A/C PLANT RM.
= 4163.493 s.m. x 1%
= 41.635 s.m. > 35.454 s.m.

DOMESTIC & NON- DOMESTIC G.F.A. DIAGRAM OF 2/F



DOMESTIC G.F.A. CALCULATIONS
(3/F - 22/F)

FLAT NO.	NET FLAT AREA (S.M.) ①	BALCONY CONCESSION ITEM 5 100% AREA (S.M.)	BALCONY CONCESSION ITEM 5 50% AREA (S.M.) ②	U.P. CONCESSION ITEM 12 100% AREA (S.M.)	U.P. CONCESSION ITEM 12 50% AREA (S.M.) ③	SUB-TOTAL FLAT AREA (S.M.) =①+②+③	COMMON AREA AREA NO.	COMMON AREA (S.M.) ④
1	56.075	2.000	1.000	1.500	0.750	57.825	Z1	83.107
2	28.888	2.000	1.000	-	-	29.888		
3	28.986	2.000	1.000	-	-	29.986		
4	28.986	2.000	1.000	-	-	29.986		
5	28.888	2.000	1.000	-	-	29.888		
6	56.075	2.000	1.000	1.500	0.750	57.825		
7	34.719	2.000	1.000	1.500	0.750	36.469		
8	18.654	2.000	1.000	-	-	19.654		
9	26.744	2.000	1.000	-	-	27.744		
10	25.694	2.000	1.000	-	-	26.694		
11	18.669	2.000	1.000	-	-	19.669		
12	34.719	2.000	1.000	1.500	0.750	36.469		
	387.097		12.000		3.000	402.097		83.107

PRECAST FAÇADE CONCESSION ITEM 11				
AREA NO.	(S.M.)	AREA NO.	(S.M.)	SUB-TOTAL (S.M.)
-	-	-	-	-
-	-	-	-	-
-	-	-	-	-
-	-	-	-	-
-	-	-	-	-
-	-	-	-	-
7-W1	0.266	7-W2	0.119	0.385
8-W1	0.209	-	-	0.209
-	-	-	-	-
-	-	-	-	-
11-W1	0.209	-	-	0.209
12-W1	0.119	12-W2	0.266	0.385
				1.188

CONCESSION ITEM 2.1			CONCESSION ITEM 2.2			CONCESSION ITEM 21			CONCESSION ITEM 28		
AREA NO.		(S.M.)	AREA NO.		(S.M.)	AREA NO.		(S.M.)	AREA NO.		(S.M.)
X1-1	RSMRC	2.402	X2-1	ELR	2.402	X21-1	PD	0.550	X28-1	ACP	1.597
			X2-2	WMC	0.575	X21-2	PD	0.675	X28-2	ACP	4.072
			X2-3	WMC	0.540	X21-3	TLD	0.722	X28-3	ACP	1.597
						X21-4	PD	0.510	X28-4	ACP	2.475
						X21-5	PD	0.540	X28-5	ACP	2.475
						X21-6	PD	0.675	X28-6	ACP	2.475
						X21-7	PD	0.550			
		2.402			3.517			4.222			14.691

TOTAL DOMESTIC G.F.A.
= 402.097 + 83.107
= 485.204

LIFT SHAFT AREA				
AREA NO.		(S.M.) ①	STOREYS ②	TOTAL ③=① x ②
X34-1	LFS	4.725	GF~22F	23	108.68
X34-2	LFS	4.410	2F~22F	21	92.61
X34-3	LFS	4.410	2F~22F	21	92.61
		13.545			293.895

DOMESTIC G.F.A. DIAGRAM OF 3/F ~ 22/F (20 STOREYS)

123418-01-A21-xxxxxx.pln; C053 CALCULATIONS (3); 100%; 9/11/2019 3:52 PM

BD REF	2/1234/18
BIM REF	2-1234-18-A21-01
FSD REF	FP 8/

Rev.	Date	Amendment	Purpose

9/11/2019 3:52 PM

PROJECT
BD SAMPLE - PROPOSED 20-STOREY RESIDENTIAL BUILDING OVER 3-STOREY PODIUM AT TKO

DRAWING TITLE
CALCULATIONS (3)

SCALE 1:200 (A1)

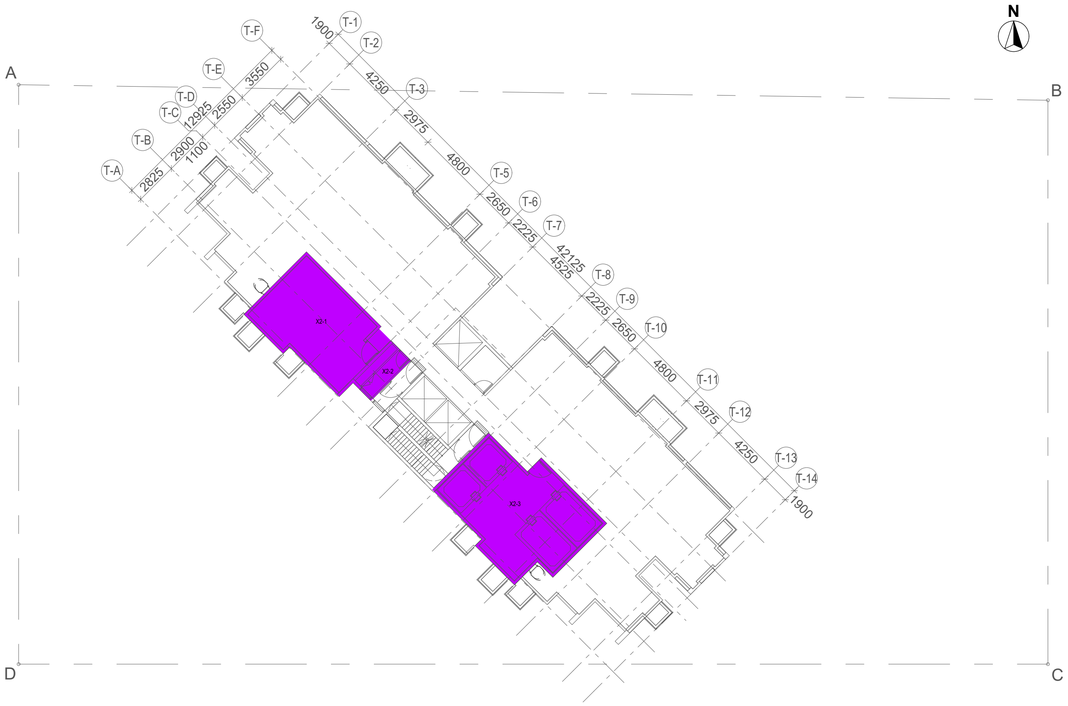
DRAWING NO. C053
REV. NO. -

SOURCE

90mm (W) x 40mm (H) space for COMPANY LOGO

90mm (W) x 60mm (H) space for AP/RSE/RGE's signature/ and stamp chop

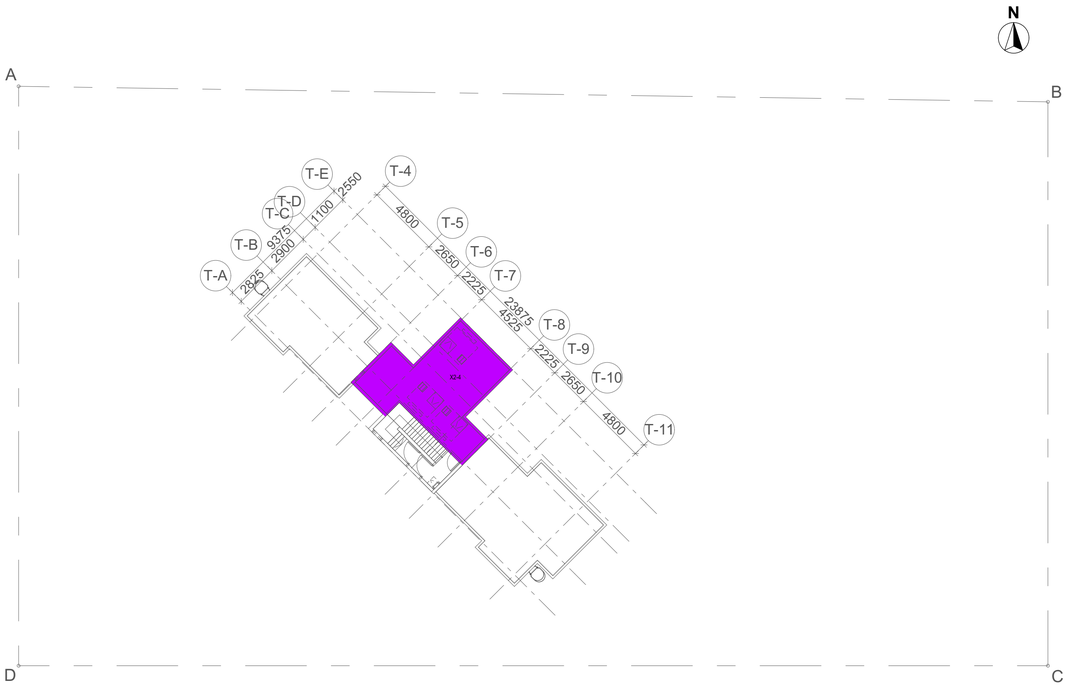
90mm (W) x 150mm (H) space for BD's approval stamp / certification of copies of approved plans (PNAP ADM-10 APP A)



DOMESTIC G.F.A. CALCULATIONS
(ROOF FLOOR)

CONCESSION ITEM 2.1		
AREA NO.		(S.M.)
X2-1	EGR	44.350
X2-2	PD	6.105
X2-3	PFWTPR	58.037
		108.492

DOMESTIC G.F.A. DIAGRAM OF ROOF FLOOR



DOMESTIC G.F.A. CALCULATIONS
(UR1/F)

CONCESSION ITEM 2.1		
AREA NO.		(S.M.)
X2-4	LMR	46.656
		46.656

DOMESTIC G.F.A. DIAGRAM OF UR1/F

BD REF	2/1234/18
BIM REF	2-1234-18-A21-01
FSD REF	FP 8/

Rev.	Date	Amendment	Purpose

9/11/2019 3:52 PM

PROJECT
BD SAMPLE - PROPOSED 20-STOREY RESIDENTIAL BUILDING OVER 3-STOREY PODIUM AT TKO

DRAWING TITLE
CALCULATIONS (4)

SCALE 1:200 (A1)

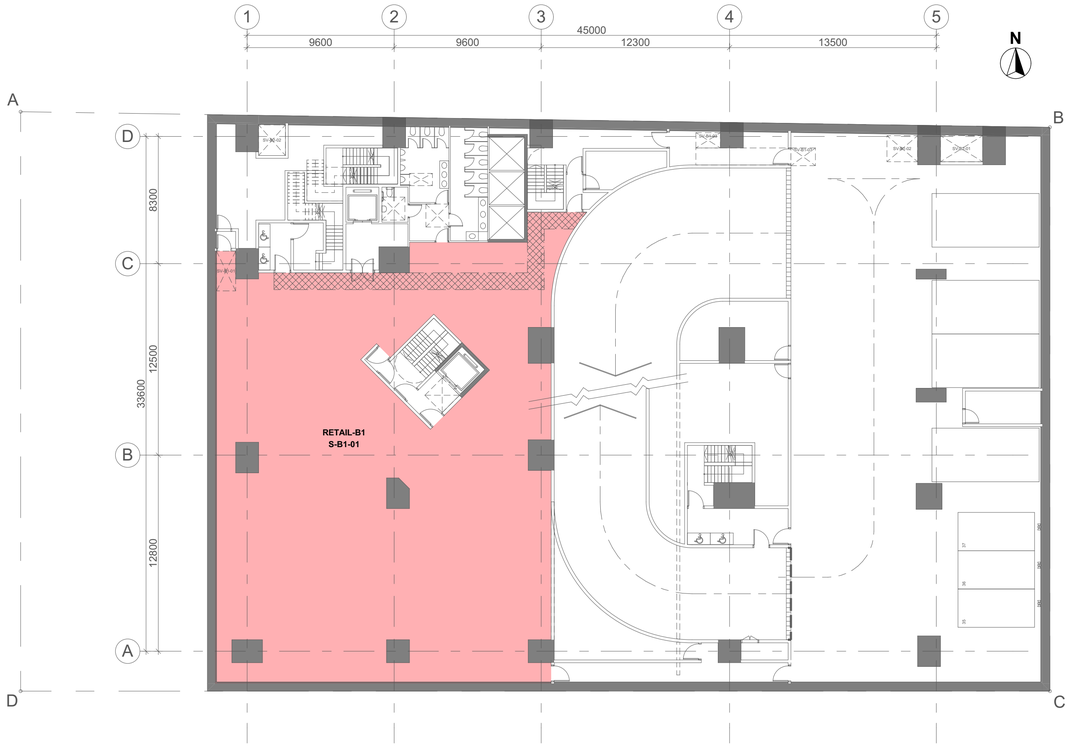
DRAWING NO. C054
REV. NO. -

SOURCE

90mm (W) x 40mm (H) space for COMPANY LOGO

90mm (W) x 60mm (H) space for AP/RSE/RGE's signature/ and stamp chop

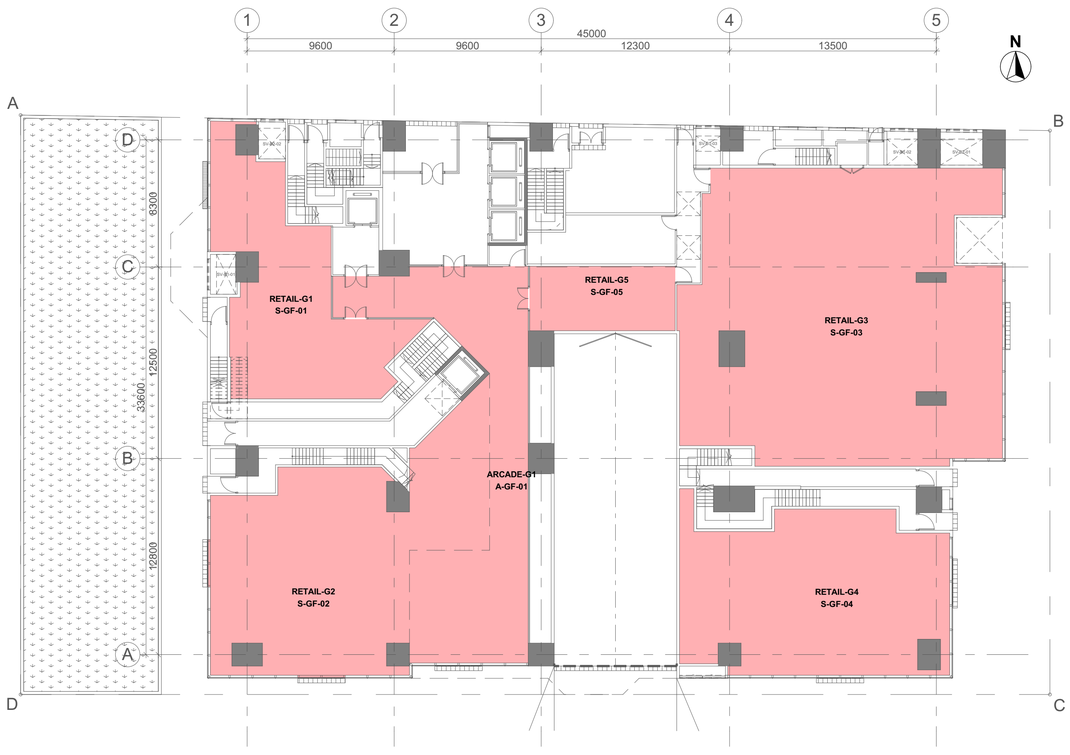
90mm (W) x 150mm (H) space for BD's approval stamp / certification of copies of approved plans (PNAP ADM-10 APP A)



NON-DOMESTIC U.F.A. CALCULATIONS AT B1F

AREA NO.	NAME	(S.M.)
S-B1-01	RETAIL-B1	565.752
	TOTAL UFA AT B1F =	565.752

UFA CALCULATION DIAGRAM OF B1/F



NON-DOMESTIC U.F.A. CALCULATIONS AT G/F

AREA NO.	NAME	(S.M.)
A-GF-01	ARCADE-G1	141.475
S-GF-01	RETAIL-G1	121.852
S-GF-02	RETAIL-G2	206.995
S-GF-03	RETAIL-G3	373.048
S-GF-04	RETAIL-G4	171.957
S-GF-05	RETAIL-G5	39.995
	TOTAL UFA AT G/F =	1055.322

UFA CALCULATION DIAGRAM OF G/F

BD REF	2/1234/18
BIM REF	2-1234-18-A21-01
FSD REF	FP 8/

Rev.	Date	Amendment	Purpose

9/11/2019 3:52 PM

PROJECT

BD SAMPLE - PROPOSED 20-STOREY RESIDENTIAL BUILDING OVER 3-STOREY PODIUM AT TKO

DRAWING TITLE

CALCULATIONS (5)

SCALE 1:200 (A1)

DRAWING NO. C055

REV. NO. -

SOURCE

90mm (W) x 40mm (H) space for COMPANY LOGO

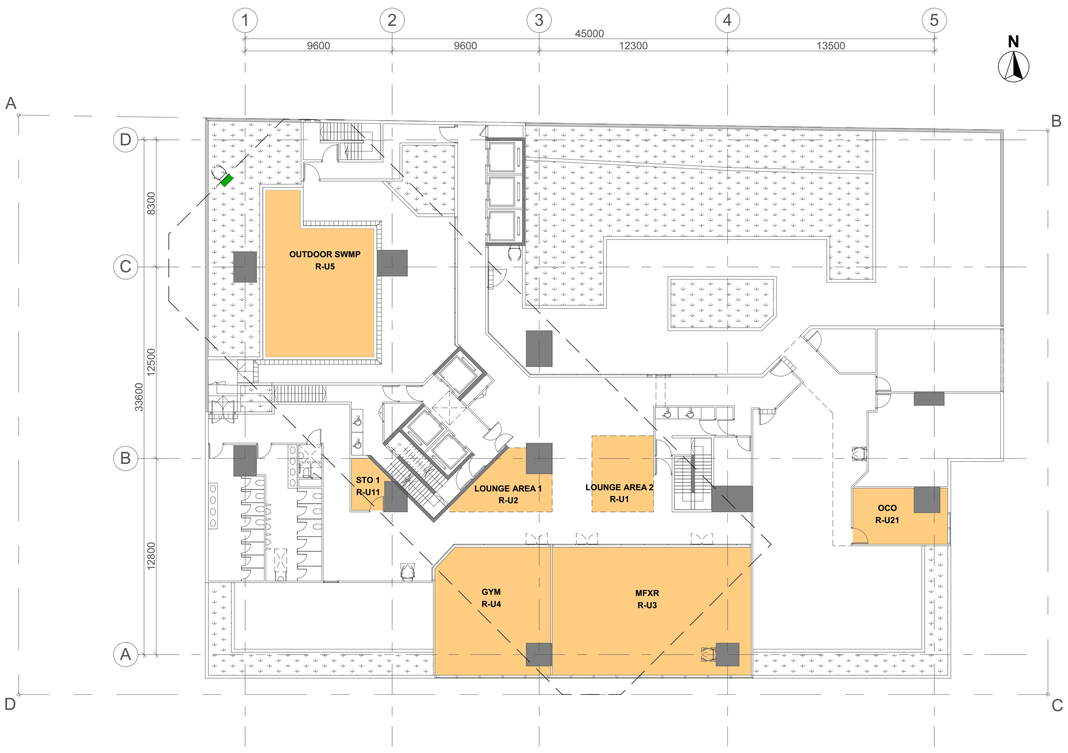
90mm (W) x 60mm (H) space for AP/RSE/RGE's signature/ and stamp chop

90mm (W) x 150mm (H) space for BD's approval stamp / certification of copies of approved plans (PNAP ADM-10 APP A)

NON-DOMESTIC U.F.A. CALCULATIONS AT 1/F

AREA NO.	NAME	(S.M.)
A-1F-01	ARCADE-1F	129.333
S-1F-01	RETAIL-1F-1	122.278
S-1F-02	RETAIL-1F-2	286.417
S-1F-03	RETAIL-1F-3	334.367
S-1F-04	RETAIL-1F-4	407.605
S-1F-05	RETAIL-1F-5	99.338
S-1F-06	RETAIL-1F-6	20.069
	TOTAL UFA AT 1/F =	1399.407

UFA CALCULATION DIAGRAM OF 1/F



R.R.F. U.F.A. & U.F.S. CALCULATIONS AT 2/F

AREA NO.	NAME	(S.M.)
R-U1	LOUNGE AREA 2	20.072
R-U2	LOUNGE AREA 1	17.779
R-U3	MFXR	106.398
R-U4	GYM	59.889
R-U21	OCO	19.972
	TOTAL UFA AT 2/F =	224.110
R-U11	STO 1	6.987
	TOTAL UFS AT 2/F =	231.097

UFA & UFS CALCULATION DIAGRAM OF 2/F

BD REF	2/1234/18
BIM REF	2-1234-18-A21-01
FSD REF	FP 8/

Rev.	Date	Amendment	Purpose

9/11/2019 3:52 PM

PROJECT

BD SAMPLE - PROPOSED 20-STOREY RESIDENTIAL BUILDING OVER 3-STOREY PODIUM AT TKO

DRAWING TITLE

CALCULATIONS (6)

SCALE 1:200 (A1)

DRAWING NO. C056

REV. NO. -

SOURCE

90mm (W) x 40mm (H) space for COMPANY LOGO

90mm (W) x 60mm (H) space for AP/RSE/RGE's signature/ and stamp chop

90mm (W) x 150mm (H) space for BD's approval stamp / certification of copies of approved plans (PNAP ADM-10 APP A)

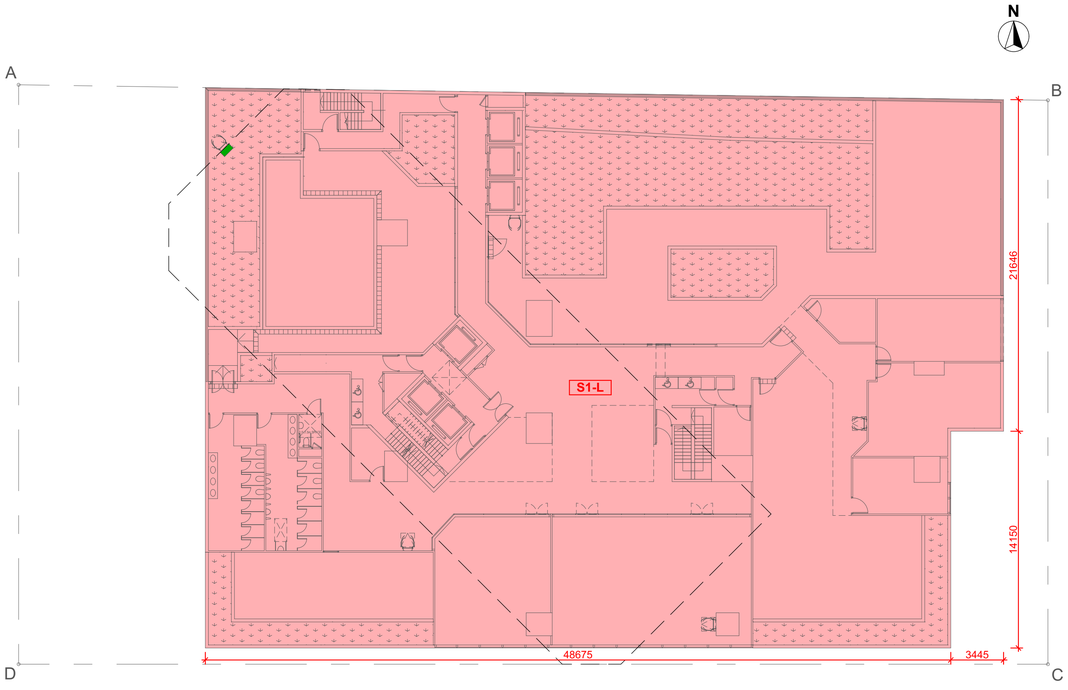
DOMESTIC U.F.A. CALCULATIONS (3/F - 22/F)						MEANS OF ESCAPE		U.F.S. CALCULATIONS		
FLAT	LIV / DIN (S.M.) ①	M. BR /BR. (S.M.) ②	BR.1 (S.M.) ③	BR.2 (S.M.) ④	U.F.A. (S.M.) (TOTAL) ⑤=①+②+③+④	OCCUPANCY FACTOR ⑥	CAPACITY (PERSONS) ⑦ = ⑤ / ⑥	OPEN KIT. (S.M.) ⑧	UTILITY (S.M.) ⑨	U.F.S. (S.M.) (TOTAL) ⑩=⑧+⑧+⑨
1	19.853	7.176	4.882	4.882	36.793	4.5	9	4.650	2.100	43.543
2	12.839	7.579	-	-	20.418		5	2.280	-	22.698
3	12.134	7.524	-	-	19.658		5	2.377	-	22.035
4	12.134	7.524	-	-	19.658		5	2.377	-	22.035
5	12.839	7.579	-	-	20.418		5	2.280	-	22.698
6	19.853	7.176	4.882	4.882	36.793		9	4.650	2.100	43.543
7	12.542	7.768	4.410	-	24.720		6	2.522	-	27.242
8	12.224	-	-	-	12.224		3	1.710	-	13.934
9	11.119	5.913	-	-	17.032		4	3.585	-	20.617
10	11.119	5.913	-	-	17.032		4	3.585	-	20.617
11	12.224	-	-	-	12.224		3	1.710	-	13.934
12	12.542	7.768	4.410	-	24.720		6	2.522	-	27.242
TOTAL U.F.A / U.F.S. PER EACH FLOOR					261.690		64			300.138

TOTAL U.F.A. (3/F~22/F) = 261.69 x 20 Storeys	=	5233.800
TOTAL U.F.S. = 300.138 x 20 Storeys	=	6002.760

TOWER WINDOW AREA & OPENABLE AREA CALCULATION

FLAT	USE (EACH FLOOR)	U.F.A. (s.m.)	PRO. LIGHTING AREA (W) x (H) x 80%		(s.m.)		REQ. LIGHTING U.F.A. (1/10)	PRO. OPENABLE AREA (W) x (H) x 80%		(s.m.)		REQ. OPENABLE AREA U.F.A. (1/16)
1 & 6	LIV / DIN	19.853	1.371 x 1.375 x 80%	=	1.508		1.985	1.371 x 0.950 x 80%	=	1.042		1.241
	*BATH 1	2.940	1.229 x 1.350 x 80%	=	1.327		0.294	0.750 x 1.350 x 80%	=	0.810		0.294 (1/10)
			Total	=	2.835	>	2.279	Total	=	1.852	>	1.535
	MBR	7.176	0.600 x 1.375 x 80%	=	0.660		0.718	0.600 x 0.950 x 80%	=	0.456		0.449
	*M BATH	2.940	1.000 x 1.350 x 80%	=	1.080		0.294	0.650 x 1.350 x 80%	=	0.702		0.294 (1/10)
			Total	=	1.740	>	1.012	Total	=	1.158	>	0.743
	BR1	4.882	2.100 x 1.375 x 80%	=	2.310	>	0.488	0.700 x 0.950 x 80%	=	0.532	>	0.305
	BR2	4.882	2.100 x 1.375 x 80%	=	2.310	>	0.488	0.700 x 0.950 x 80%	=	0.532	>	0.305
	KIT	4.650	1.000 x 1.200 x 80%	=	0.960		0.465	1.000 x 1.200 x 80%	=	0.960		0.291
	UTR	2.100					0.210					0.210 (1/10)
			Total	=	0.960	>	0.675	Total	=	0.960	>	0.501
2 & 5	LIV / DIN	12.839	0.821 x 1.375 x 80%	=	0.903		1.284	0.700 x 0.950 x 80%	=	0.532		0.802
	O KIT	2.280	1.229 x 1.350 x 80%	=	1.327		0.228	0.750 x 1.350 x 80%	=	0.810		0.143
	*BATH	2.798					0.280					0.280 (1/10)
			Total	=	2.230	>	1.792	Total	=	1.342	>	1.225
	BR	7.579	2.150 x 1.375 x 80%	=	2.365	>	0.758	0.700 x 0.950 x 80%	=	0.532	>	0.474
3 & 4	LIV / DIN	12.134	0.971 x 1.375 x 80%	=	1.068		1.213	0.700 x 0.950 x 80%	=	0.532		0.758
	O KIT	2.377	1.079 x 1.350 x 80%	=	1.165		0.238	0.750 x 1.350 x 80%	=	0.810		0.149
	*BATH	2.888					0.289					0.289 (1/10)
			Total	=	2.233	>	1.740	Total	=	1.342	>	1.196
	BR	7.524	2.150 x 1.375 x 80%	=	2.365	>	0.752	0.700 x 0.950 x 80%	=	0.532	>	0.470
7 & 12	LIV / DIN	12.542	0.646 x 1.200 x 80%	=	0.620		1.254	0.646 x 1.200 x 80%	=	0.620		0.784
	O KIT	2.522	1.229 x 1.350 x 80%	=	1.327		0.252	0.750 x 1.350 x 80%	=	0.810		0.158
	*BATH	2.940					0.294					0.294 (1/10)
			Total	=	1.947	>	1.800	Total	=	1.430	>	1.236
	MBR	7.768	1.400 x 1.375 x 80%	=	1.540	>	0.777	0.700 x 0.950 x 80%	=	0.532	>	0.486
	BR1	4.410	1.400 x 1.200 x 80%	=	1.344	>	0.441	1.400 x 1.200 x 80%	=	1.344	>	0.276
8 & 11	LIV / DIN	12.224	1.246 x 1.200 x 80%	=	1.196		1.222	1.246 x 1.200 x 80%	=	1.196		0.764
	O KIT	1.710	1.229 x 1.350 x 80%	=	1.327		0.171	0.750 x 1.350 x 80%	=	0.810		0.107
	*BATH	2.940					0.294					0.294 (1/10)
			Total	=	2.523	>	1.687	Total	=	2.006	>	1.165
9 & 10	LIV / DIN	11.119	0.700 x 1.200 x 80%	=	0.672		1.112	0.700 x 1.200 x 80%	=	0.672		0.695
	O KIT	3.585	1.229 x 1.350 x 80%	=	1.327		0.359	0.750 x 1.350 x 80%	=	0.810		0.224
	*BATH	2.888					0.289					0.289 (1/10)
			Total	=	1.999	>	1.760	Total	=	1.482	>	1.208
	BR	5.913	1.850 x 1.200 x 80%	=	1.776	>	0.591	0.700 x 1.200 x 80%	=	0.672	>	0.370

UFA & UFS CALCULATION DIAGRAM OF 3/F ~ 22/F (20 STOREYS)



NON-DOMESTIC SITE COVERAGE AREA CALCULATION (15m ABOVE GROUND LEVEL)			
	NO.	AREA	NAME
2F	S1-L	1837.404	NON-DOMESTIC SC
		1837.404 m²	

NON-DOMESTIC SITE COVERAGE CALCULATIONS DIAGRAM AT 2F (NOT EXCEEDING 15M)

OPEN SPACE AREA CALCULATION			
	NO.	AREA	NAME
3F	OS-1	715.319	OPEN SPACE
		715.319 m²	

DOMESTIC SITE COVERAGE AREA CALCULATION			
	NO.	AREA	NAME
3F	S2-L	685.553	DOMESTIC SC
		685.553 m²	

OPEN SPACE & DOMESTIC SITE COVERAGE CALCULATIONS DIAGRAM AT 3F

BD REF	2/1234/18
BIM REF	2-1234-18-A21-01
FSD REF	FP 8/

Rev.	Date	Amendment	Purpose

9/11/2019 3:52 PM

PROJECT
BD SAMPLE - PROPOSED 20-STOREY RESIDENTIAL BUILDING OVER 3-STOREY PODIUM AT TKO

DRAWING TITLE
CALCULATIONS (7)

SCALE 1:200 (A1)

DRAWING NO. C057 | REV. NO. -

SOURCE

90mm (W) x 40mm (H) space for COMPANY LOGO

90mm (W) x 60mm (H) space for AP/RSE/RGE's signature/ and stamp chop

90mm (W) x 150mm (H) space for BD's approval stamp / certification of copies of approved plans (PNAP ADM-10 APP A)

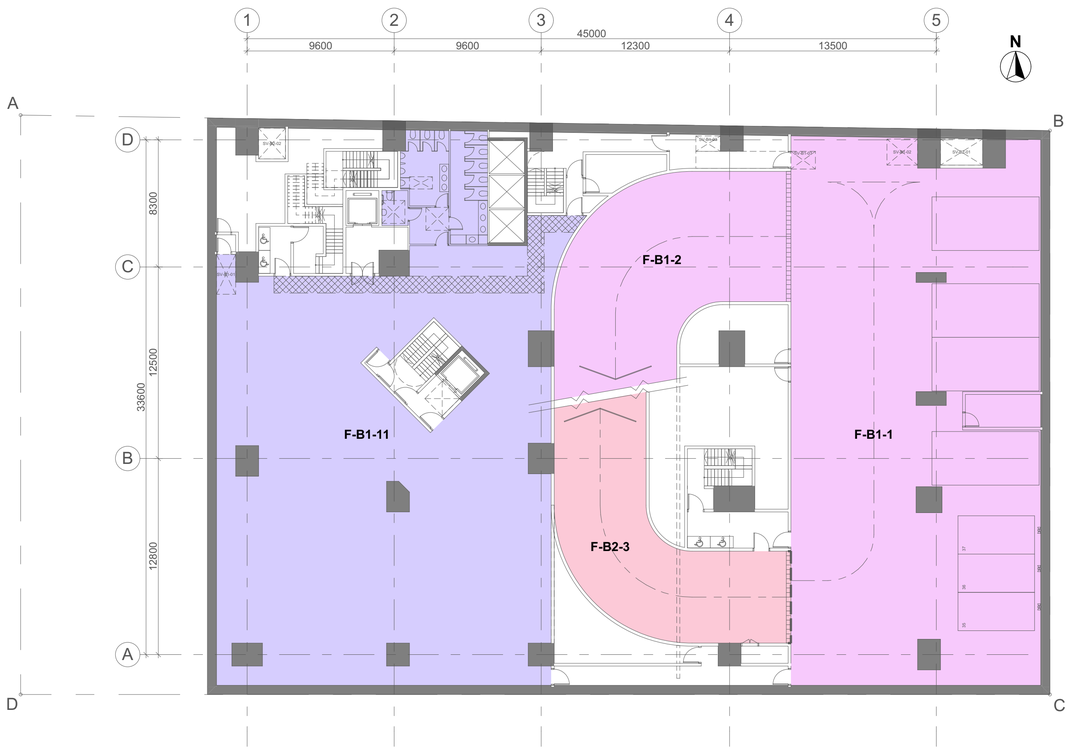
FIRE COMPARTMENT CALCULATION AT B2-A

AREA NO.			(s.m.)	Height (m)	(cu.m.)
F-B2-1	B2/F (CARPARK)	=	1443.825	3.600	5197.770
F-B2-2	B2/F (RAMP)	=	110.189	3.600	396.680
F-B2-3	B1/F (RAMP)	=	136.454	5.650	770.965
	TOTAL	=	1690.468		6365.415
FIRE COMPARTMENT B2-1 = 6365.415 < 7000 cu.m.					

AREA CALCULATION FOR SMOKE VENT AT B2-A

AREA NO.			(s.m.)
F-B2-1	B2/F (CARPARK)	=	1443.825
F-B2-2	B2/F (RAMP)	=	110.189
B2-1 AREA FOR SMOKE VENT		=	1554.014

FIRE COMPARTMENT DIAGRAM OF B2/F



FIRE COMPARTMENT CALCULATION FOR B1-A

AREA NO.			(s.m.)	Height (m)	(cu.m.)
F-B1-1	B1/F (CARPARK)	=	562.814	5.650	3179.899
F-B1-2	B1/F (RAMP)	=	161.902	5.650	914.746
F-B1-3	G/F (RAMP)	=	173.533	5.250	911.048
	TOTAL	=	898.249		5005.693
FIRE COMPARTMENT B1-1 = 5005.693 < 7000 cu.m.					

FIRE COMPARTMENT CALCULATION AT B1-B

AREA NO.			(s.m.)	Height (m)	(cu.m.)
F-B1-11	B1/F (RETAIL)	=	605.070	5.650	3418.646
	TOTAL	=			3418.646
FIRE COMPARTMENT B1-2 = 3418.646 < 7000 cu.m.					

AREA CALCULATION FOR SMOKE VENT FOR B1-A

AREA NO.			(s.m.)
F-B2-3	B1/F (RAMP)	=	136.454
F-B1-1	B1/F (CARPARK)	=	562.814
F-B1-2	B1/F (RAMP)	=	161.902
B1-1 AREA FOR SMOKE VENT		=	861.170

AREA CALCULATION FOR SMOKE VENT FOR B1-B

AREA NO.			(s.m.)
F-B1-11	B1/F (RETAIL)	=	605.070
B1-2 AREA FOR SMOKE VENT		=	605.070

FIRE COMPARTMENT DIAGRAM OF B1/F

BD REF	2/1234/18
BIM REF	2-1234-18-A21-01
FSD REF	FP 8/

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PROJECT

BD SAMPLE - PROPOSED 20-STOREY RESIDENTIAL BUILDING OVER 3-STOREY PODIUM AT TKO

DRAWING TITLE

FIRE COMPARTMENT DIAGRAMS & CALCULATIONS (1)

SCALE 1:200 (A1)

DRAWING NO. C061

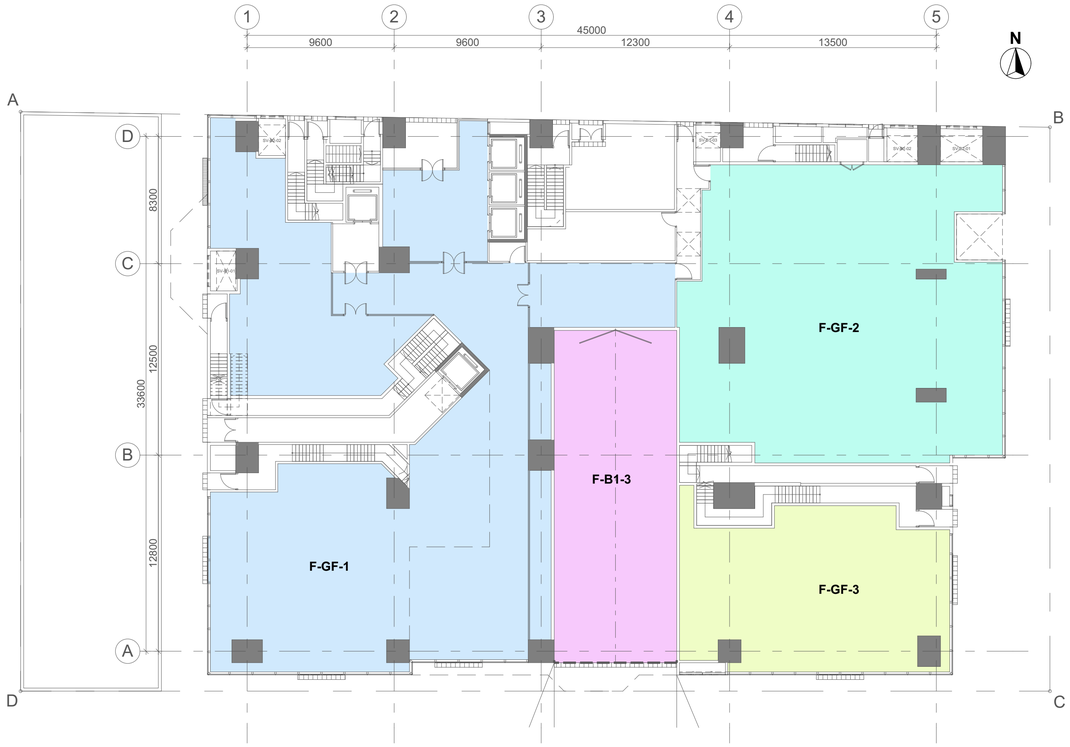
REV. NO. -

SOURCE

90mm (W) x 40mm (H) space for COMPANY LOGO

90mm (W) x 60mm (H) space for AP/RSE/RGE's signature/ and stamp chop

90mm (W) x 150mm (H) space for BD's approval stamp / certification of copies of approved plans (PNAP ADM-10 APP A)



FIRE COMPARTMENT CALCULATION AT G/F-A

AREA NO.			(s.m.)	Height (m)	(cu.m.)
F-GF-1	G/F (RETAIL)	=	580.452	5.250	3047.373
	TOTAL	=			3047.373
FIRE COMPARTMENT B1-1 = 3047.373 < 7000 cu.m.					

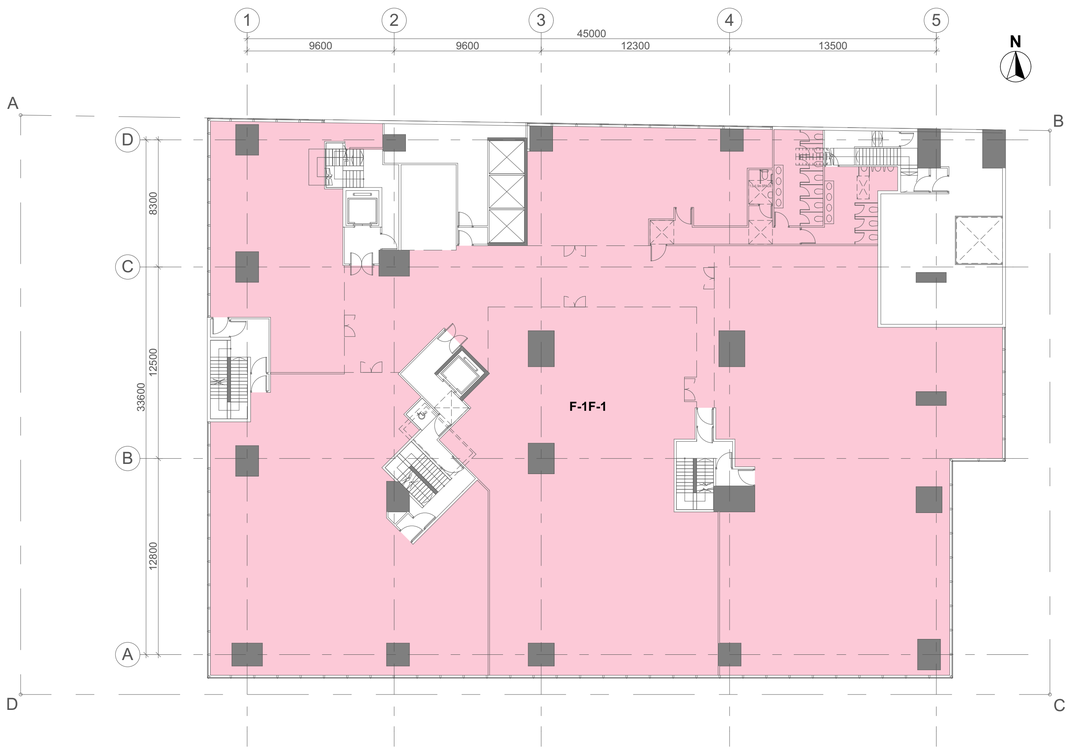
FIRE COMPARTMENT CALCULATION AT G/F-B

AREA NO.			(s.m.)	Height (m)	(cu.m.)
F-GF-2	G/F (RETAIL)	=	373.058	5.250	1958.555
	TOTAL	=			1958.555
FIRE COMPARTMENT B1-1 = 1958.555 < 7000 cu.m.					

FIRE COMPARTMENT CALCULATION AT G/F-C

AREA NO.			(s.m.)	Height (m)	(cu.m.)
F-GF-3	G/F (RETAIL)	=	171.953	5.250	902.753
	TOTAL	=			902.753
FIRE COMPARTMENT B1-1 = 902.753 < 7000 cu.m.					

FIRE COMPARTMENT DIAGRAM OF G/F



FIRE COMPARTMENT CALCULATION AT 1/F

AREA NO.			(s.m.)	Height (m)	(cu.m.)
F-1F-1	1/F (RETAIL)	=	1446.875	4.450	6438.594
	TOTAL	=			6438.594
FIRE COMPARTMENT B1-1 = 6438.594 < 7000 cu.m.					

FIRE COMPARTMENT DIAGRAM OF 1/F

BD REF	2/1234/18
BIM REF	2-1234-18-A21-01
FSD REF	FP 8/

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PROJECT

BD SAMPLE - PROPOSED 20-STOREY RESIDENTIAL BUILDING OVER 3-STOREY PODIUM AT TKO

DRAWING TITLE

FIRE COMPARTMENT DIAGRAMS & CALCULATIONS (2)

SCALE 1:200 (A1)

DRAWING NO. C062

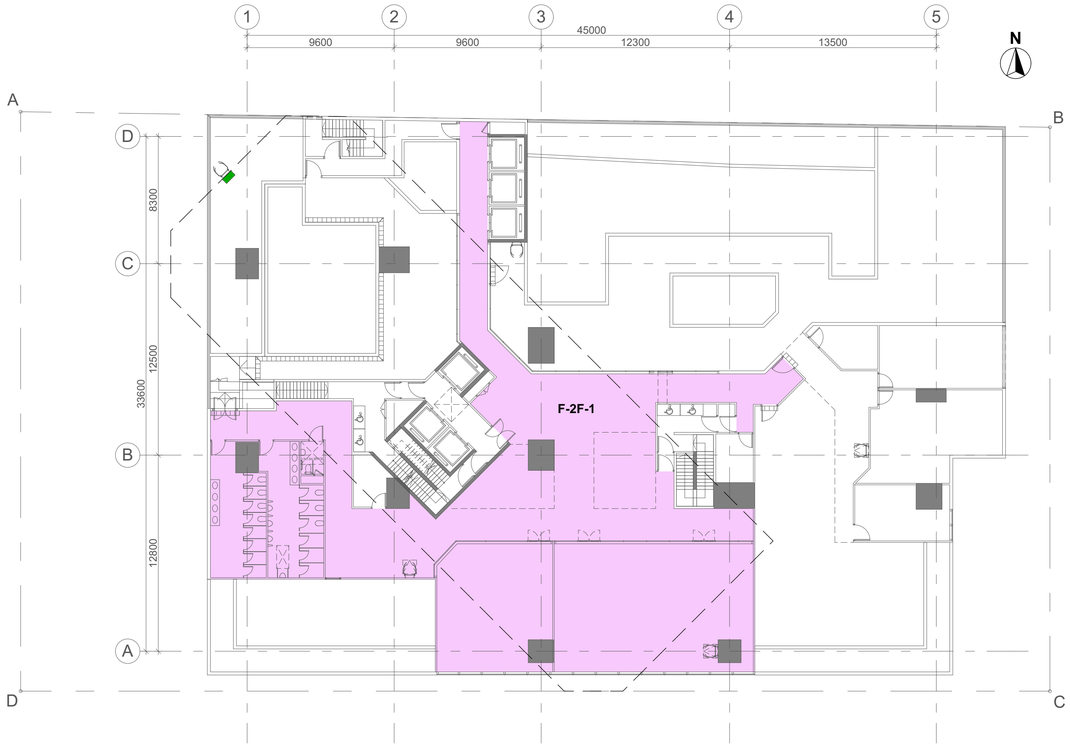
REV. NO. -

SOURCE

90mm (W) x 40mm (H) space for COMPANY LOGO

90mm (W) x 60mm (H) space for AP/RSE/RGE's signature/ and stamp chop

90mm (W) x 150mm (H) space for BD's approval stamp / certification of copies of approved plans (PNAP ADM-10 APP A)



FIRE COMPARTMENT CALCULATION AT 2/F

AREA NO.			(s.m.)	Height (m)	(cu.m.)
F-2F-1	2/F (RRF & LOBBY)	=	494.963	4.050	2004.600
	TOTAL	=			2004.600

FIRE COMPARTMENT B1-1 = 2004.6 < 7000 cu.m.

FIRE COMPARTMENT DIAGRAM OF 2/F

BD REF	2/1234/18
BIM REF	2-1234-18-A21-01
FSD REF	FP 8/

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PROJECT

BD SAMPLE - PROPOSED 20-STOREY RESIDENTIAL BUILDING OVER 3-STOREY PODIUM AT TKO

DRAWING TITLE

FIRE COMPARTMENT DIAGRAMS & CALCULATIONS (3)

SCALE 1:200 (A1)

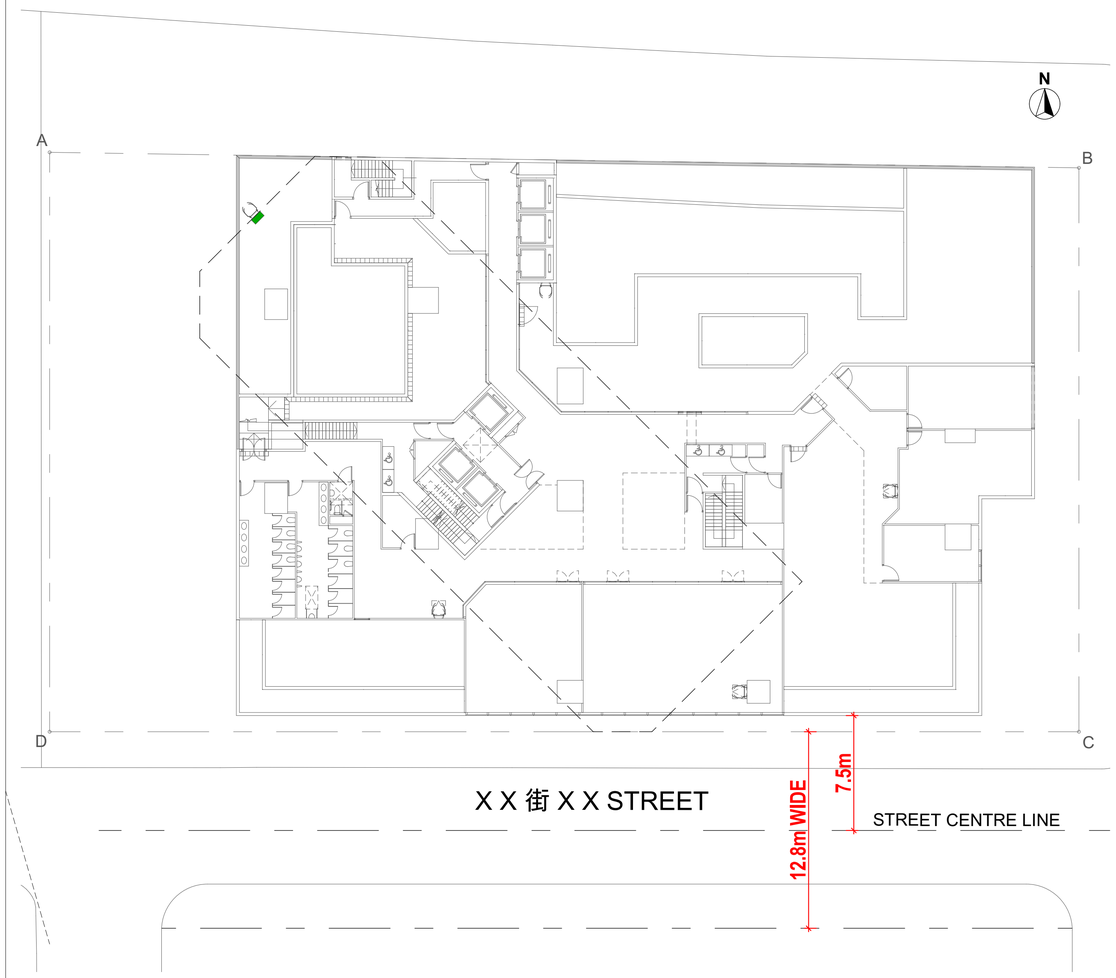
DRAWING NO.	REV. NO.
C063	-

SOURCE

90mm (W) x 40mm (H) space for COMPANY LOGO

90mm (W) x 60mm (H) space for AP/RSE/RGE's signature/ and stamp chop

90mm (W) x 150mm (H) space for BD's approval stamp / certification of copies of approved plans (PNAP ADM-10 APP A)

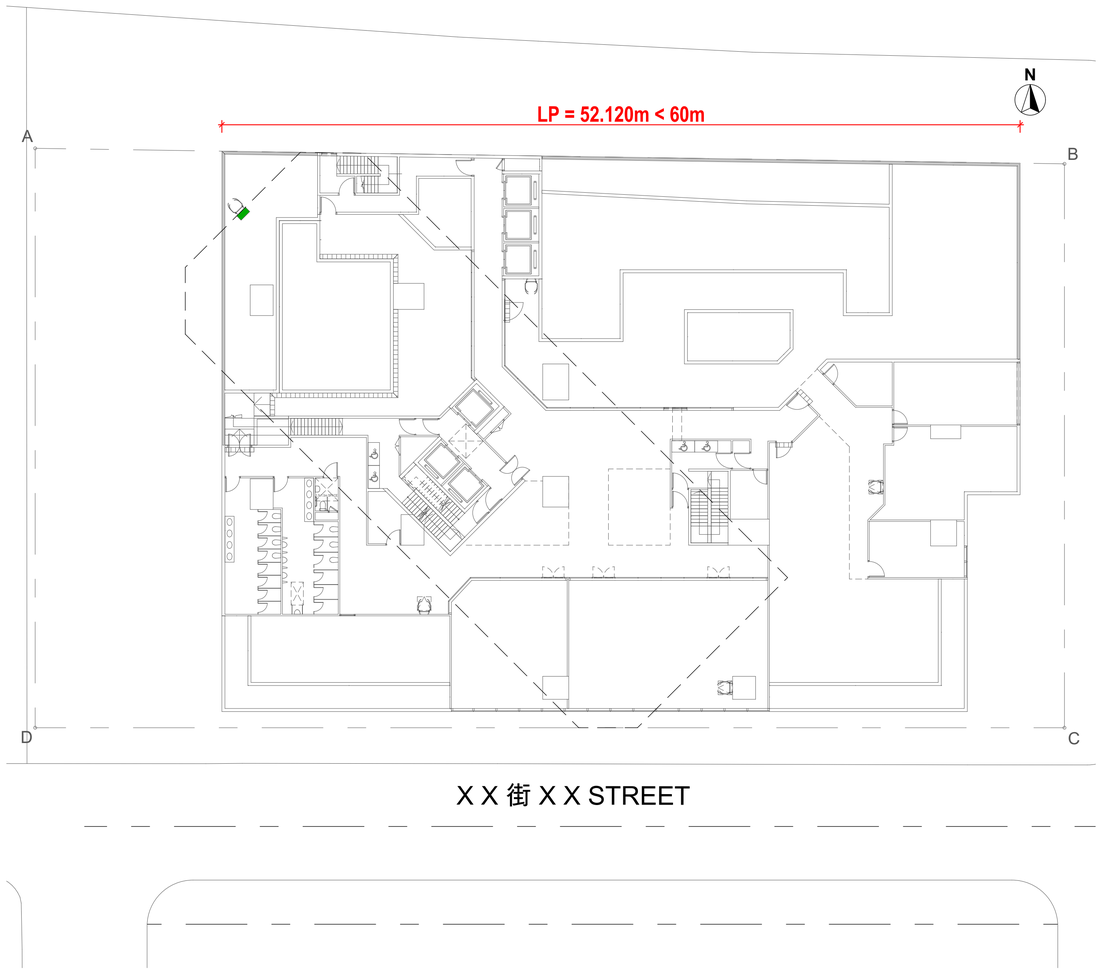


(SHALL COMPLY WITH PNAP AP152)

IN ORDER TO IMPROVE AIR VENTILATION , ENHANCE THE ENVIRONMENTAL QUALITY AT PEDESTRIAN LEVEL AND MITIGATE DEEP STREET CANYON EFFECT, BUILDINGS ABUTTING A NARROW STREET LESS THAN 15m WIDE SHALL SETBACK

i.e. SETBACK REQUIREMENT COMPLIED

BUILDING SETBACK DIAGRAM



MAXIMUM FACADE LENGTH Lp = 52.120m < 60m ENTIRE BUILDING AND SITE AREA 20,000 s.m.

i.e. NO REQUIREMENT ON BUILDING SEPARATION

BUILDING SEPARATION DIAGRAM

BD REF	2/1234/18
BIM REF	2-1234-18-A21-01
FSD REF	FP 8/

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PROJECT

BD SAMPLE - PROPOSED 20-STOREY RESIDENTIAL BUILDING OVER 3-STOREY PODIUM AT TKO

DRAWING TITLE

SUSTAINABLE BUILDING DESIGN DEMONSTRATION DIAGRAMS & CALCULATIONS

SCALE 1:200 (A1)

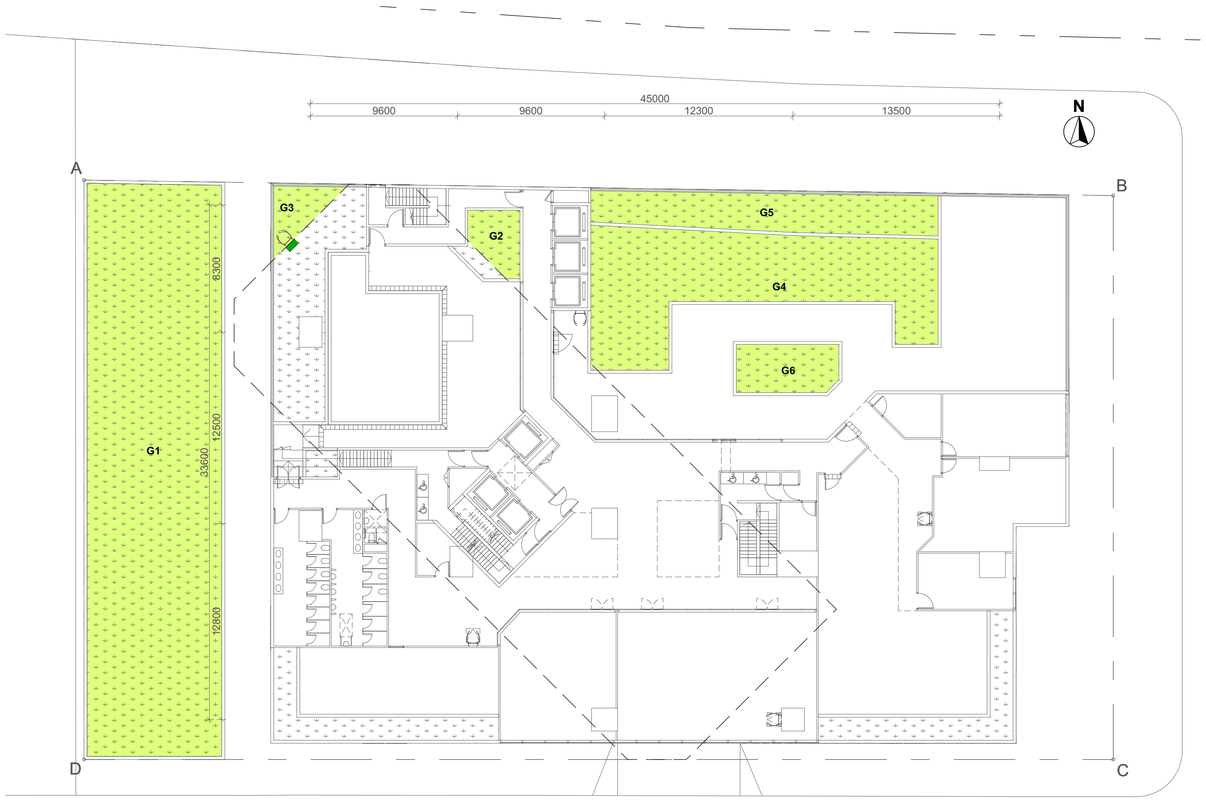
DRAWING NO.	REV. NO.
C071	-

SOURCE

90mm (W) x 40mm (H) space for COMPANY LOGO

90mm (W) x 60mm (H) space for AP/RSE/RGE's signature/ and stamp chop

90mm (W) x 150mm (H) space for BD's approval stamp / certification of copies of approved plans (PNAP ADM-10 APP A)



G/F GREENERY AREA

G1	=	328.339	s.m.
SUB-TOTAL	=	328.339	s.m.

2/F GREENERY AREA

G2	=	12.173	s.m.
G3	=	11.331	s.m.
G4	=	131.699	s.m.
G5	=	54.430	s.m.
G6	=	20.753	s.m.
SUB-TOTAL	=	230.386	s.m.

TOTAL PEDESTRIAN AREA = 558.725 s.m.

TOTAL SITE COVERAGE OF GREENERY ON PRIMARY ZONE (UNDER APP-152)

SITE AREA = 2507.828 s.m. < 20000 s.m.

MIN. SITE COVERAGE OF GREENERY (PRIMARY ZONE = 10% & OVERALL 20%)

ACTUAL SITE COVERAGE OF GREENERY = $\frac{\text{GREENERY AREA ON PRIMARY ZONE}}{\text{SITE AREA}} \times 100\ \%$

= $\frac{558.725}{2507.730} \times 100\ \%$

= 22.280% > 10%

TOTAL AREA OF GREENERY = GREENERY AREA ON PRIMARY ZONE + GREENERY AREA ON ROOF FLOOR

= 558.725 s.m.

ACTUAL SITE COVERAGE OF GREENERY = $\frac{\text{TOTAL AREA OF GREENERY}}{\text{SITE AREA}} \times 100\ \%$

= $\frac{558.725}{2507.730} \times 100\ \%$

= 22.280% > 20%

GREENERY DIAGRAM OF G/F & 2/F

BD REF	2/1234/18
BIM REF	2-1234-18-A21-01
FSD REF	FP 8/

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PROJECT

BD SAMPLE - PROPOSED 20-STOREY RESIDENTIAL BUILDING OVER 3-STOREY PODIUM AT TKO

DRAWING TITLE

GREENERY DIAGRAMS & CALCULATIONS

SCALE 1:200 (A1)

DRAWING NO. C072

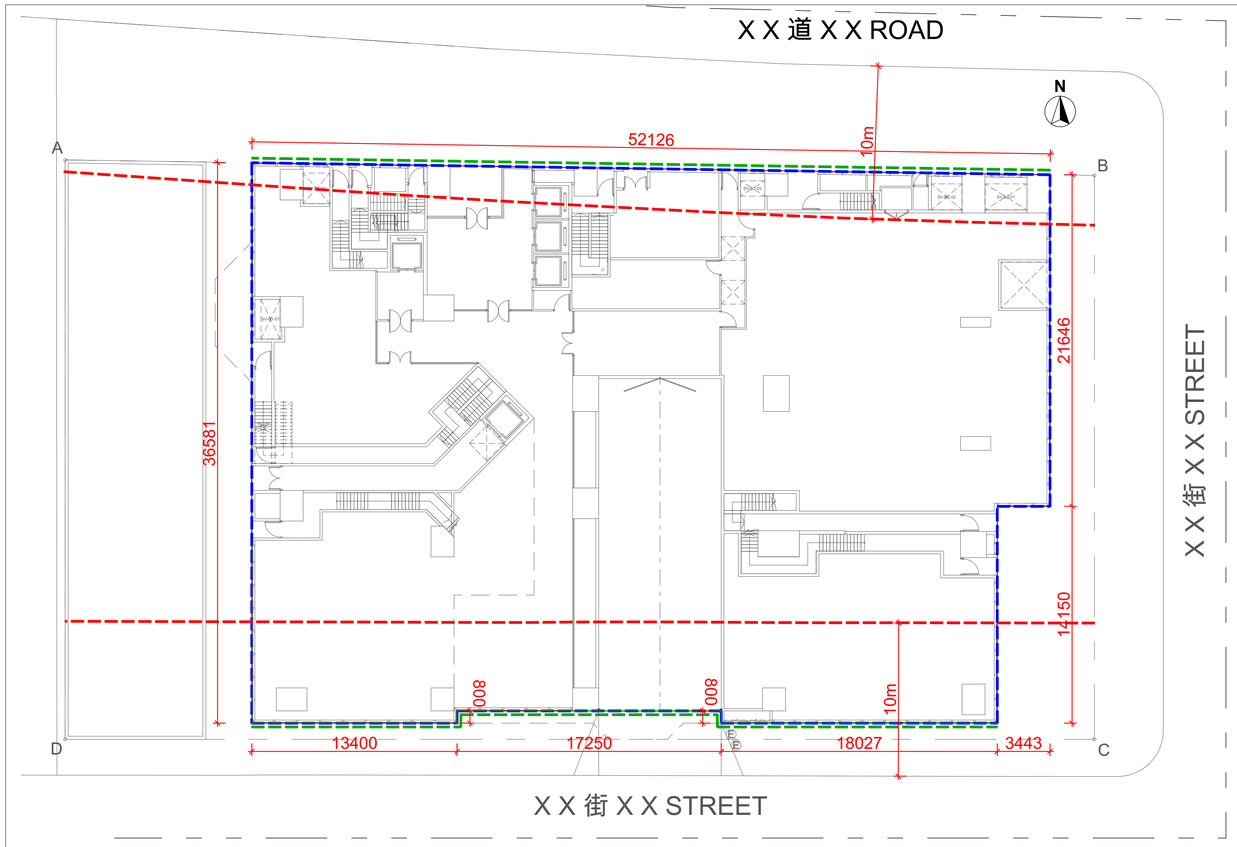
REV. NO. -

SOURCE

90mm (W) x 40mm (H) space for COMPANY LOGO

90mm (W) x 60mm (H) space for AP/RSE/RGE's signature/ and stamp chop

90mm (W) x 150mm (H) space for BD's approval stamp / certification of copies of approved plans (PNAP ADM-10 APP A)



LEGEND :

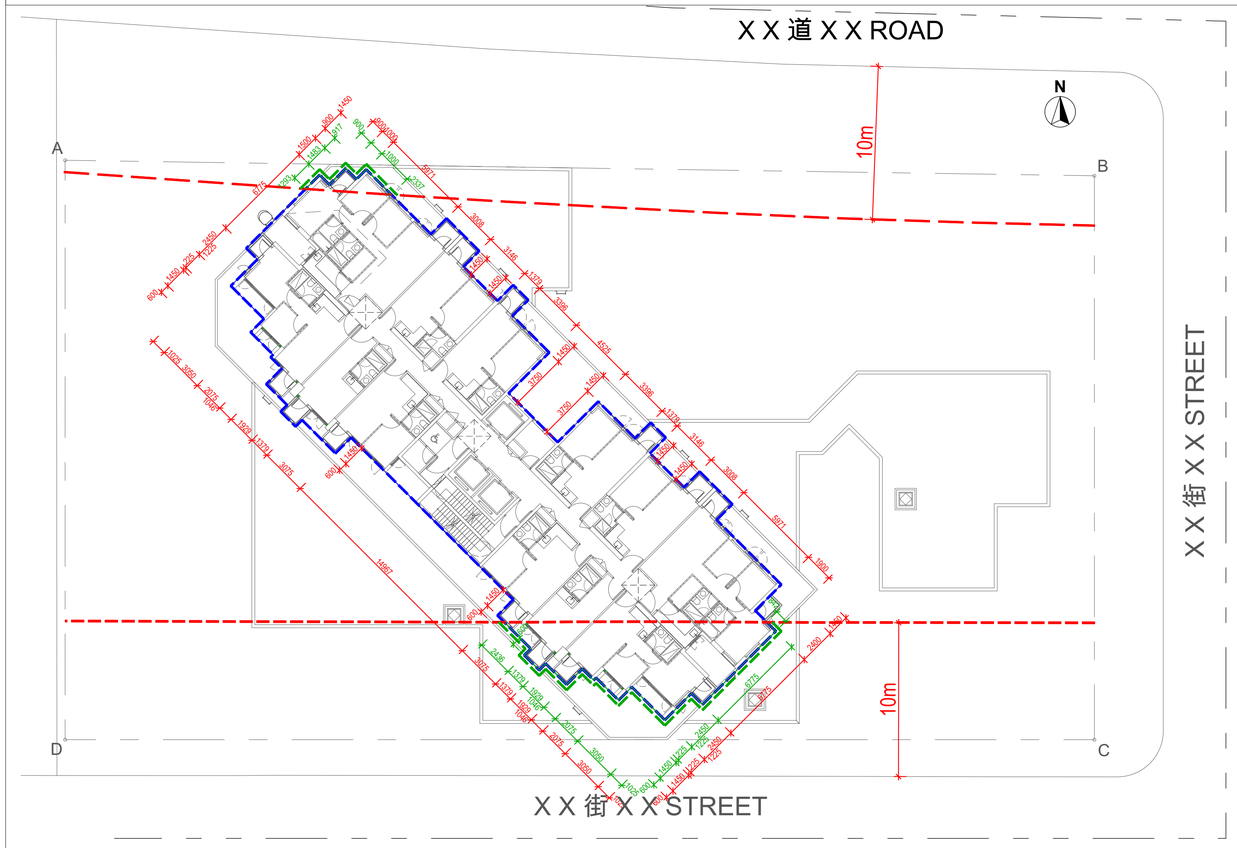
EMERGENCY VEHICULAR ACCESS (EVA)
WITHSTAND LOADING 30000 KG
HARD PAVE WIDTH - OPERATION ≥ 6M ; FOR PASSAGE ≥ 4.5M
GRADIENT - OPERATION ≤ 1 : 10 ; FOR PASSAGE ≤ 1 : 6
OVERALL HEADROOM MIN. 4.5M

SITE BOUNDARY
CENTRE LINE OF STREET
LENGTH OF PERIMETER WALL FOR PODIUM
LENGTH OF THE FACADE FOR PODIUM SERVED BY EVA

LENGTH CALCULATION OF FACADE TO BE SERVED BY E.V.A.

TOTAL LENGTH OF PERIMETER WALL FOR PODIUM PORTION (G/F~2/F)		=	178.22	m
TOTAL LENGTH OF THE FACADE FOR PODIUM PORTION (G/F~2/F)		=	102.40	m
SERVED BY THE XX ROAD & XX STREET				
PERCENTAGE OF PERIMETER WALL FOR PODIUM				
SERVED BY THE XX ROAD & XX STREET				
(102.40 / 178.22) x 100%	=	57.46 %	> 25	%

EVA PLAN OF GF



LEGEND :

EMERGENCY VEHICULAR ACCESS (EVA)
WITHSTAND LOADING 30000 KG
HARD PAVE WIDTH - OPERATION ≥ 6M ; FOR PASSAGE ≥ 4.5M
GRADIENT - OPERATION ≤ 1 : 10 ; FOR PASSAGE ≤ 1 : 6
OVERALL HEADROOM MIN. 4.5M

SITE BOUNDARY
CENTRE LINE OF STREET
LENGTH OF PERIMETER WALL FOR TOWER
LENGTH OF THE FACADE FOR TOWER SERVED BY EVA

LENGTH CALCULATION OF FACADE TO BE SERVED BY E.V.A.

TOWER (FROM 3/F TO 22/F)				
TOTAL LENGTH OF PERIMETER WALL FOR TOWER		=	137.70	m
TOTAL LENGTH OF THE FACADE FOR TOWER TO BE		=	35.062	m
SERVED BY THE XX ROAD & XX STREET				
PERCENTAGE OF PERIMETER WALL FOR TOWER				
SERVED BY THE XX ROAD & XX STREET				
(35.062 / 137.700) x 100%	=	25.463 %	> 25	%

EVA PLAN OF TYPICAL FLOOR

BD REF	2/1234/18
BIM REF	2-1234-18-A21-01
FSD REF	FP 8/

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PROJECT
BD SAMPLE - PROPOSED 20-STOREY RESIDENTIAL BUILDING OVER 3-STOREY PODIUM AT TKO

DRAWING TITLE
E.V.A. PLAN DIAGRAMS & CALCULATIONS

SCALE 1:200 (A1)

DRAWING NO. C073
REV. NO. -

SOURCE

90mm (W) x 40mm (H) space for COMPANY LOGO

90mm (W) x 60mm (H) space for AP/RSE/RGE's signature/ and stamp chop

90mm (W) x 150mm (H) space for BD's approval stamp / certification of copies of approved plans (PNAP ADM-10 APP A)