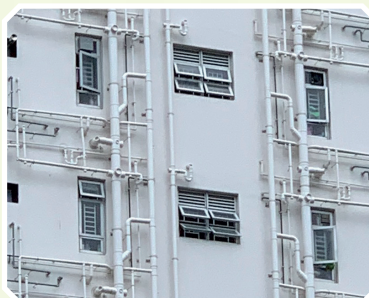


Introduction to Minor Works Control System



Minor Works Control System

The Minor Works Control System (MWCS) aims to facilitate building owners and occupants in carrying out small-scale building works safely and lawfully through simplified statutory procedures and thereby improve the quality of such building works and building safety in Hong Kong.



Minor works

A total of 187 items of building works that are minor works are subjected to the control under the MWCS. The size, location and respective criteria of each item of minor works are set out in the Building (Minor Works) Regulation (B(MW)R)*. These minor works are classified into three classes according to their scale, complexity and risk to safety:

- Class I (a total of 58 items) are mainly those relatively more complicated minor works
- Class II (a total of 68 items) are those of comparatively lower complexity and risk to safety
- Class III (a total of 61 items) mainly include common household and amenity minor works

Note:

* The MWCS was fully implemented on 31 December 2010. The B(MW)R was amended in 2012 (8 minor works items were added) and 2020. The Building (Minor Works) (Amendment) Regulation 2020 with effect from 1 September 2020 involves 9 repealed, 56 amended and 70 additional minor works items.

To facilitate checking details of the minor works items, the 187 items of minor works are grouped into over 40 categories in accordance with the nature/substance of works.

Minor Works		Item ¹		
		Class I	Class II	Class III
Erection/alteration/removal of supporting structures/ metal casings for a building services installation (BSI) ²	on-grade/ on a canopy/ on a roof/on a cantilevered slab ³	1.5, 1.50	2.2	3.2, 3.50
Erection/alteration/removal of supporting frames for an air-conditioning unit/light fitting/antenna/transceiver	projecting from an external wall of a building	1.28	2.31, 2.49	3.26, 3.27
Erection/alteration/removal of supporting structures for a radio base station on a roof		1.14	2.12	3.8
Erection/alteration/removal of external metal ventilation ducts/associated supporting frames		1.5, 1.47	2.2, 2.31, 2.47	3.2, 3.47, 3.48, 3.49
Erection/alteration/repair/removal of canopies/ retractable awnings		1.27	2.31, 2.43	3.25, 3.26, 3.38, 3.43
Erection/alteration/removal of drying racks				3.29, 3.30
Construction/alteration/repair/removal/ replacement of windows/ window walls		1.60	2.8, 2.9	3.6, 3.7
Repair/replacement of curtain walls		1.61		
Erection/alteration/removal/repair/replacement of protective barriers		1.6	2.5	3.3
Repair of structural elements		1.17	2.17	
Erection/repair/alteration/ addition/removal of drains	aboveground		2.30	3.23, 3.24
	underground	1.25, 1.26, 1.36	2.28, 2.29, 2.36	
Erection/alteration/removal/repair of external non-load bearing reinforced concrete walls/ external block walls		1.15	2.13, 2.14, 2.15	3.11, 3.12
Formation /reinstatement of openings on external non-load bearing reinforced concrete walls/external block walls				3.45, 3.46
Laying/repair/removal of external rendering/ external wall tiles/roof finishes		1.62	2.34	
Erection/repair/replacement/removal of external claddings		1.48	2.48	3.31

Minor Works		Item ¹		
		Class I	Class II	Class III
Construction/alteration of spread footings associated with the carrying out of minor works/ designated exempted works		1.11	2.10	
Excavation works associated with the carrying out of minor works/ designated exempted works		1.12	2.11	
Erection/alteration/removal/ repair of solid fence walls	on-grade	1.7, 1.9, 1.57	2.6	3.4, 3.57
	on a roof	1.55	2.55, 2.61, 2.64	3.55, 3.61, 3.64
Erection/alteration/removal/ repair of mesh fences/metal railings	on-grade/on top of a solid fence wall on-grade	1.8, 1.10, 1.58, 1.59	2.7, 2.57, 2.58, 2.67	3.5, 3.58
	on a roof	1.56	2.56, 2.62, 2.65	3.56, 3.62, 3.65
Erection/alteration/removal/ repair of poles	on-grade/on top of a solid fence wall on-grade	1.10, 1.53, 1.58, 1.59	2.53, 2.57, 2.59, 2.66	3.59, 3.66
	on a roof	1.54	2.54, 2.60, 2.63	3.54, 3.60, 3.63
Erection/alteration/repair/removal of metal wind guards for opening on an external wall of a building			2.41	
Erection/alteration/repair/removal of metal gates at fence walls or at the entrance of buildings		1.16, 1.40	2.16, 2.40	3.13, 3.33
Erection/alteration/replacement of glass reinforced polyester water tanks or removal of water tanks		1.49	2.3, 2.4	
Erection/alteration/repair/removal of planters/ ponds/fountains		1.52	2.52	3.52
Erection/alteration/removal/repair of trellises		1.45	2.44, 2.45	3.44
Erection/alteration/repair/removal of external cat-ladders			2.51	3.51
Repair/replacement/removal of external metal structures providing access for maintenance			2.50	
Routine maintenance of slopes or retaining walls				3.53

Minor Works		Item ¹		
		Class I	Class II	Class III
Erection/alteration/removal of signboards		1.20 - 1.24	2.18 - 2.22, 2.24 - 2.27	3.16 - 3.22
Installation/alteration/replacement/removal of display surface of signboards			2.23, 2.68	3.16, 3.17
Removal of architectural projections			2.31	3.26
Removal of chimney		1.37	2.37	
Strengthening of unauthorised structures (air-conditioning unit/water cooling towers/ associated ducts, drying racks and canopies)				3.34, 3.35, 3.36, 3.37
Removal of unauthorised structures	on and above roof, flat roof, yard and lane	1.38	2.39	3.32
	other locations	1.30, 1.39	2.32, 2.38	
Erection/alteration/removal of internal staircases		1.1, 1.32		3.1
Formation/reinstatement of slab openings		1.2, 1.35	2.1, 2.35	
Building works associated with the erection/alteration/removal of service lifts/ stairlifts/lifting platforms	service lift	1.3, 1.33		
	stairlift or lifting platform	1.4, 1.34		
Erection of non-load bearing block wall, laying of solid floor screeding, or erection or alteration of aboveground drain in the subdivision of a domestic flat into 3 or more rooms, at least 3 of which are provided with lavatories or other sanitary fittings; and the resulting number of such rooms is greater than that shown on the original approved plan		1.41		
Formation or alteration of opening to the enclosure (other than a load bearing wall) of staircase or its protected lobby		1.42		
Erection of non-load bearing block walls in a flat		1.43		3.39, 3.40
Thickening of floor slabs in a flat by laying solid screeding		1.44		3.41, 3.42
Erection/repair/removal of panel fixed by metal dowels and fixings onto a wall inside a building		1.31	2.33	

Minor Works	Item ¹		
	Class I	Class II	Class III
Erection/alteration of supporting frames for suspending an air-conditioning plant or a mechanical ventilation plant inside a building	1.51		
Erection/alteration of metal ventilation ducts/ associated supporting frames inside a building	1.46	2.46	
Erection/alteration of fire dampers in ventilation system		2.42	

For detailed descriptions, sizes, locations and respective requirements of each minor works item, please visit the Buildings Department website at www.bd.gov.hk, and refer to the B(MW)R and the Technical Guidelines on Minor Works Control System. The requirements of the minor works items generally involve restrictions related to structural safety. For example, the works should not result in any additional load to any cantilevered slab or the works should not involve the alteration of any other structural elements. For the location, if the works are located on a slab or roof, it may be required that the slab or roof should not be a cantilevered slab. The appointed prescribed building professional and/or prescribed registered contractor should ensure the works comply with all the requirements of the relevant minor works items.



Notes :

- 1 The numbers tabulated under "Item" denote the classes and item numbers of the minor works. For example, "1.5" denotes the item no.5 under Class I minor works in the B(MW)R. Any alteration works must be read as including any strengthening works for that item. Any erection works must be read as including any replacement works for that item. Any removal works must be read as including any removal works for any structure that falls within the description of that item and is an unauthorised structure.
- 2 Building services installation includes any solar water heating system, photovoltaic system (solar panel system), antenna, transceiver, air-conditioning unit, water cooling tower, light fitting and pump set (installations) and any duct associated with any of the installation but excludes any water tank, lift, stairlift, lifting platform, ventilation duct and radio base station.
- 3 For removal works only.

Exempted building works

Building works (other than minor works) that are carried out in a building are exempted building works under section 41(3) of the Buildings Ordinance if they do not involve the structure of the building. For these exempted works, prior approval of building plans and consent to the commencement of works from the Buildings Department are not required. Though not required to be carried out by prescribed registered contractors and supervised by prescribed building professionals, the works should not be carried out in contravention of the regulations (which specify the building design and construction standards in such aspects as fire safety, structural safety and drainage works) under the Buildings Ordinance. Common interior renovation/alteration works (other than minor works), such as painting, internal plastering or wall-paper works, repair or replacement of internal branch pipe (other than embedded pipe) or sanitary fitment works, or removal of non-load bearing partition walls which need not have fire resistance rating are exempted works under the Buildings Ordinance.

Designated exempted works

Apart from the exempted works in general mentioned above, the MWCS also introduced 30 items of designated exempted works, of which the complexity and risk to safety are lower than that of the minor works. In accordance with the Buildings Ordinance, the designated exempted works may be commenced without obtaining prior approval of plans and consent to commencement of works from the Buildings Department, and without the need to appoint authorized persons and registered contractors for the carrying out of the works. Brief descriptions of the designated exempted works are as follows:

Brief Description of Designated Exempted Works		Item No.
Formation/reinstatement of small slab openings		1, 2
Replacement/removal of glass reinforced polyester water tanks having capacity of not more than 9m ³		3, 4
Erection/alteration/repair/removal of solid fence walls on-grade and on a roof at a height not more than 1.1m and 500mm respectively.		5, 20
Erection/alteration/repair/removal of external mesh fences/ metal railings		
on-grade	at a height not more than 3m (with solid fence wall as its lower part at a height not more than 1.1m, if any)	6,16
on a roof	at a height not more than 1.1m (without solid fence wall as its lower part)	18
on top of a solid fence wall on-grade	with the height of the solid fence wall (the wall) not more than 2.5m and the aggregate height of the wall and the fence/railing not more than 3m	21
Laying/repair/removal of external rendering/external wall tiles at a height not more than 3m above the ground/roof, and finishes on a roof of gradient not more than 1 in 4.		7

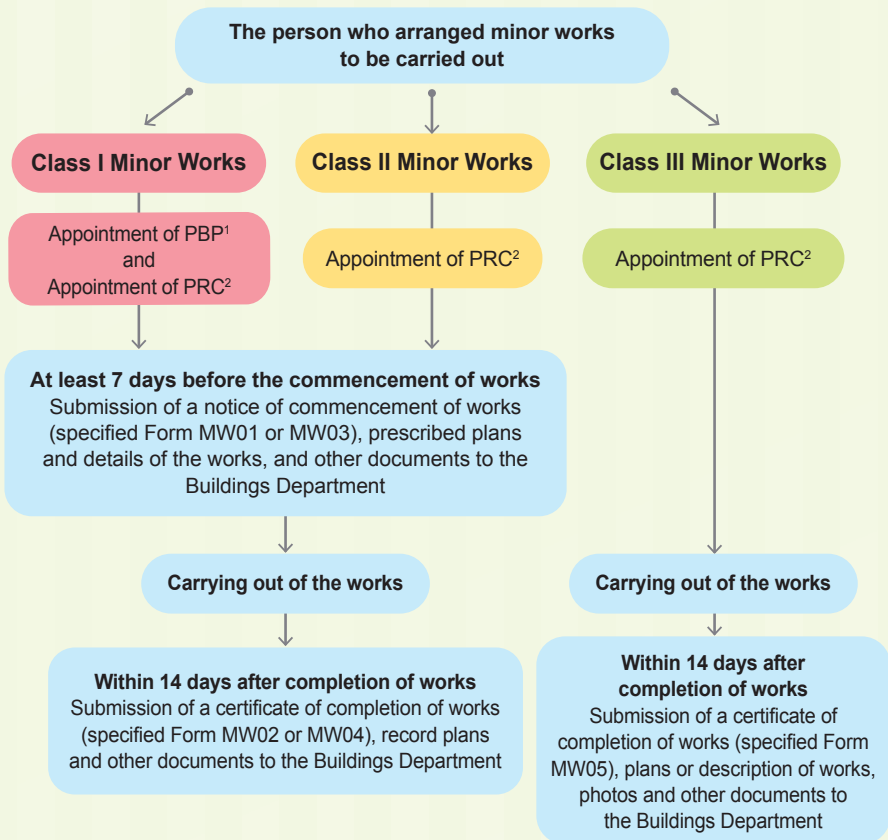
Brief Description of Designated Exempted Works		Item No.
Erection/alteration/repair/removal of metal gates at a fence wall or at an entrance of a building with the weight of each leaf not more than 100kg and the height of the gate not more than 2.2m		8
Excavation works of a depth of not more than 300mm		9
Erection/alteration/removal of small wall signboards		10, 11
Removal of supporting structures or metal casings for a building services installation, ventilation ducts and associated supporting frames on-grade/ on a canopy/on a roof at a height not more than 1m		12
Erection/alteration/removal of supporting structures for an air-conditioning unit and light fitting projecting from the external wall of a building at a height not more than 3m above the ground/roof		13
Erection/alteration/removal of canopies at a height not more than 3m above the ground/roof		14
Erection/alteration/removal of drying racks at a height not more than 3m above the ground/roof		15
Erection/alteration/repair/removal of external poles		
on-grade	the height and weight of the pole (including any feature at its top) not more 3m and 100kg respectively	17
on a roof	the height of the pole not more than 1.1m (including any feature at its top) and without solid fence wall as its lower part	19
on top of a solid fence wall on-grade	the height of the solid fence wall (the wall) not more than 2.5m and the aggregate height of the wall and the pole not more than 3m	21
Erection/alteration/removal of external metal ventilation ducts or associated supporting frames resting on ground/a roof at a height not more than 900mm above the ground/roof		22
Erection/alteration/removal of external metal ventilation ducts or associated supporting frames		
projecting from the external wall	projecting not more than 750mm from the wall	23
on a balcony/ verandah/canopy	at a height not more than 3m above the ground/roof and 900mm above the balcony, verandah or canopy with the largest cross-sectional dimension of the ducts not more than 750mm	
hung underneath the soffit of a balcony/ verandah/canopy	at a height not more than 3m above the ground/roof with the largest cross-sectional dimension of the ducts not more than 750mm	

Brief Description of Designated Exempted Works	Item No.
Erection/alteration and repair/removal of outdoor plants, ponds or fountains on-grade at a height not more than 600mm and 1.1m respectively	24
Addition/alteration/repair/removal of surface drainage channel on-grade with the depth not more than 300mm	25
Erection/alteration/repair/removal of metal supporting frame for the growing of plants fixing to the external wall of a building with the maximum loading added to the wall of not more than 100kg per m ² of the wall area and at a height not more than 3m above the ground/roof	26
Erection/alteration/repair/removal of metal window security grilles or metal wind guards for opening on external wall of building with projection not more than 300mm from the wall and at a height not more than 3m above the ground/roof	27
Erection/alteration/repair/removal of cat-ladders projecting from external wall of building at a height not more than 3m above the ground/roof	28
Laying/replacement of liquid-applied/membrane-applied waterproofing layers on roof surface of building without removing screeding/tile layer	29
Installation/alteration/replacement/removal of fabric sheeting or plastic display surface of signboards	30

The descriptions in the table are simplified. For detailed descriptions of designated exempted works items, please visit the Buildings Department website at www.bd.gov.hk, and refer to the B(MW)R and the Technical Guidelines on Minor Works Control System.

Simplified requirements

The carrying out of minor works can be commenced through the simplified requirements of the MWCS, without the need to obtain prior approval of plans and consent to the commencement of the works from the Buildings Department as required under section 14(1) of the Buildings Ordinance. Any person, whether the owner/occupant or his/her agent (for example the design company) is required to appoint prescribed registered contractors (PRC) to carry out all minor works. If the works involve Class I minor works, prescribed building professionals (PBP) should also be appointed for the design and supervision of the works. The flow chart below shows the procedures for carrying out Class I, Class II and Class III minor works:



For the registers of PBP and PRC, please visit the Buildings Department website at www.bd.gov.hk.

Notes:

- PBP are authorized persons/registered inspectors* and (if required) registered structural engineers/registered geotechnical engineers.
* If the works are prescribed repair or any associated demolition works, a registered inspector may assume the role of an authorized person in respect of such works.
- PRC are registered general building contractors or registered specialist contractors of respective registered category of specialised works or registered minor works contractors of respective registered classes/types/items of minor works.

Addition of minor works items after commencement of works

After the submission of notice of commencement of Class I or Class II minor works, if additional Class I or Class II minor works items are required to be carried out during the construction period, the PBP or PRC should submit, at least 7 days before the commencement of those additional items, a notice of commencement of works (i.e. specified Form MW11 or MW12) together with the prescribed plans and details of the works, and other documents to the Buildings Department. Within 14 days after the completion of the works, the PBP or PRC should submit a certificate of completion of works (i.e. specified Form MW02 or MW04), record plans and other documents together with all other completed minor works items to the Buildings Department.



Types of registered minor works contractors

Construction companies may apply for registration as Registered Minor Works Contractors (Company) (RMWC(Co)) and register by virtue of their working experience, qualifications and competence in each class of one or more of the following types of minor works (A to H):

- Type A - Alteration and Addition Works
- Type B - Repair Works
- Type C - Works relating to Signboards
- Type D - Drainage Works
- Type E - Works relating to Structures for Amenities
- Type F - Finishes Works
- Type G - Demolition Works
- Type H - Works relating to Ventilation System inside a Building

Individual practitioners may apply for registration as Registered Minor Works Contractors (Individual) (RMWC(Ind)) of the respective Class III minor works items (items 3.1 to 3.66) by virtue of their qualifications and experience.

Appointment of prescribed registered contractors

In selecting PRC to carry out minor works, one can refer to the table of Types of Minor Works below and on the basis of the type, class and item no. of the minor works to appoint relevant registered contractors registered for the respective class and type.

Types of minor works

Class I								Class II								Class III											
Type								Type								Type											
Item no.	A	B	C	D	E	F	G	H	Item no.	A	B	C	D	E	F	G	H	Item no.	A	B	C	D	E	F	G	H	
1.1	•								2.1	•			•					3.1	•						•		
1.2	•								2.2	•				•		•			3.2	•				•		•	
1.3	•								2.3	•			•						3.3	•							
1.4	•								2.4	•			•			•			3.4	•						•	
1.5	•				•		•		2.5	•									3.5	•						•	
1.6	•								2.6	•									3.6	•							
1.7	•								2.7	•									3.7	•						•	
1.8	•								2.8	•									3.8	•						•	
1.9	•							•	2.9	•						•			3.11	•							
1.10	•							•	2.10	•									3.12	•	•						
1.11	•								2.11	•									3.13	•							
1.12	•								2.12	•						•			3.16			•					
1.14	•								2.13	•									3.17			•					
1.15	•								2.14	•									3.18			•				•	
1.16	•								2.15	•	•								3.19			•				•	
1.17	•	•							2.16	•									3.20			•				•	
1.20			•						2.17	•	•								3.21			•				•	
1.21			•						2.18			•							3.22			•				•	
1.22			•						2.19			•							3.23				•				
1.23			•						2.20			•							3.24	•			•			•	
1.24			•					•	2.21			•							3.25	•				•			
1.25				•					2.22			•							3.26	•				•		•	
1.26				•					2.23			•							3.27	•				•			
1.27	•				•				2.24			•				•			3.29	•				•			
1.28	•				•				2.25			•				•			3.30	•				•		•	
1.30	•							•	2.26			•				•			3.31	•				•			
1.31	•					•			2.27			•				•			3.32	•						•	
1.32	•							•	2.28				•						3.33	•						•	
1.33	•							•	2.29				•						3.34	•				•			
1.34	•							•	2.30				•						3.35	•				•			
1.35	•								2.31	•				•		•			3.36	•				•			
1.36				•					2.32	•						•			3.37	•				•			

Types of minor works

Class I								Class II								Class III										
Type								Type								Type										
Item no.	A	B	C	D	E	F	G	H	Item no.	A	B	C	D	E	F	G	H	Item no.	A	B	C	D	E	F	G	H
1.37	•						•		2.33	•					•			3.38	•				•			
1.38	•						•		2.34	•					•			3.39	•							
1.39	•						•		2.35	•								3.40	•							
1.40	•						•		2.36				•					3.41	•							
1.41	•								2.37	•						•		3.42	•							
1.42	•								2.38	•						•		3.43	•				•		•	
1.43	•								2.39	•						•		3.44	•	•						
1.44	•								2.40	•						•		3.45	•	•		•	•			
1.45	•								2.41	•								3.46	•	•		•	•			
1.46	•				•			•	2.42								•	3.47	•				•			
1.47	•				•				2.43	•				•				3.48	•				•			
1.48	•					•			2.44	•								3.49	•				•		•	
1.49	•			•	•				2.45	•								3.50	•				•			
1.50	•				•				2.46	•				•			•	3.51	•	•			•			
1.51	•				•			•	2.47	•				•				3.52	•	•						
1.52	•								2.48	•					•			3.53	•	•				•		
1.53	•								2.49	•				•				3.54	•							
1.54	•								2.50	•	•			•				3.55	•							
1.55	•								2.51	•				•				3.56	•							
1.56	•								2.52	•								3.57	•	•						
1.57	•	•							2.53	•								3.58	•	•						
1.58	•	•							2.54	•								3.59	•	•						
1.59	•								2.55	•								3.60	•	•						
1.60	•								2.56	•								3.61	•	•						
1.61	•								2.57	•								3.62	•	•						
1.62	•					•			2.58	•	•							3.63	•						•	
									2.59	•	•							3.64	•						•	
									2.60	•	•							3.65	•						•	
									2.61	•	•							3.66	•						•	
									2.62	•	•															
									2.63	•						•										
									2.64	•						•										
									2.65	•						•										
									2.66	•						•										
									2.67	•						•										
									2.68			•														

Register of registered minor works contractors

For consideration of appointment of RMWC(Co) in carrying out Class I, Class II and/or Class III minor works, reference can be made to the RMWC(Co) Register on the Buildings Department website at www.bd.gov.hk and the selection should base on the class and type of minor works registered. The following is a typical example of the RMWC(Co) displayed on the website:

Registered Minor Works Contractors (Company)					
Company Name	Registration Number	Expiry Date	Class/Type	Name of Authorized Signatory with Registered Class/ Type of Minor Works	
XYZ COMPANY	MWC 1X2/2010	31/12/2023	I, II, III/A,B, E	CHAN TAI-MAN	Class/Type: I, II, III/A, B, E
			II, III/D, F, G	CHAN SIU-MAN	Class/Type: II, III/D, F, G
Contact Information: XXXX XXXX					

For consideration of appointment of RMWC(Ind) in carrying out Class III minor works, reference can be made to the RMWC(Ind) Register on the Buildings Department website at www.bd.gov.hk and the selection should base on the items of minor works registered. The following is a typical example of the RMWC(Ind) displayed on the website:

Registered Minor Works Contractors (Individual)			
Company Name	Registration Number	Expiry Date	Items of Class III Minor works
SHING KIN-SHEUNG	MWC(W) 1X3/2010	31/12/2023	3.2, 3.23, 3.24, 3.50
Contact Information: XXXX XXXX			
CHEUNG SIU-MING	MWC(W) 3X5/2010	31/12/2023	3.2, 3.26,3.27, 3.34, 3.35, 3.50
Contact Information: XXXX XXXX			

Submission of documents under simplified requirements

The PBP and PRC shall comply with the Buildings Ordinance and its subsidiary regulations, and prepare and timely submit the required documents to the Buildings Department. The documents mainly include the following:

1. Form

Specified forms for notice of commencement of works (seven days prior to commencement of works) for Class I and Class II minor works and certificate of completion of works (within 14 days after the completion of works) for all classes of minor works.

2. Plan

(a) Class I or Class II minor works

The plans and details prescribed in regulation 8 of the Building (Administration) Regulations.

(b) Class III minor works

The plans showing the works as completed or description of completed works.

3. Photograph

Photographs showing the physical condition of the premises immediately before the commencement and after the completion of the works.

4. Supervision plan

A supervision plan in accordance with the Technical Memorandum for Supervision Plans (only required for some Class I minor works).

Please refer to the Practice Note for Registered Contractors 71 issued by the Buildings Department for the requirements and guidelines on submission of the above documents.

Inspection and certification of prescribed building or building works

A household minor works validation scheme, a minor amenity feature validation scheme and a signboard validation scheme are established under the MWCS to facilitate members of the public to retain, after validation, unauthorised minor household installations, minor amenity features and signboards, which are relatively small in scale and pose less potential risk, constructed before the implementation of the respective schemes. Those minor household installations/amenity features/signboards that may be validated through the validation schemes are prescribed buildings or building works under the B(MW)R.

For details of the three validation schemes, please refer to the relevant pamphlets on the Buildings Department's website:



Pamphlet on
Household Minor Works
Validation Scheme



Pamphlet on
Minor Amenity Feature
Validation Scheme



Pamphlet on
Signboard Validation Scheme

Inspection of building records

The carrying out of minor works in existing buildings may involve alteration and addition works. The PBP or PRC should prepare the plans for minor works based on the information from the inspection of the actual condition of the related building and the available existing building records. The building records for existing buildings may be inspected at the Building Information Centre of the Buildings Department located at 2/F, Buildings Department Headquarters, North Tower, West Kowloon Government Offices, 11 Hoi Ting Road, Yau Ma Tei, Kowloon, or via the Building Records Access and Viewing On-line system in the Buildings Department website at bravo.bd.gov.hk. A copy of the building records will be issued upon application and payment of the prescribed fee.

Please visit www.bd.gov.hk/en/about-us/building-information-centre/index.html for details of the services.

Legal obligation of the person who arranged the minor works to be carried out

The person, whether the building owner/occupant or his/her agent, who arranged the minor works to be carried out is required by the Buildings Ordinance to appoint PBP and/or PRC to carry out the works. If the person who arranged the works to be carried out has knowingly failed to appoint the required personnel, that person may be liable to prosecution.

Legal obligation of prescribed building professionals and prescribed registered contractors

The PBP and PRC appointed to carry out the minor works should comply with the provisions of the Buildings Ordinance and other enactments. The PRC should only carry out the classes and types or items of minor works for which they have been registered. If they contravene these requirements, they may be subject to prosecution and disciplinary action.

Insurance

To safeguard the interests of the building owner/occupant or the appointed agent, the person who arranged the minor works to be carried out should ensure that the appointed PRC has procured all necessary insurance prior to commencement of works in order to minimise risk for any possible claim incurred from carrying out the minor works.

Carrying out minor works at common parts of buildings

For minor works carried out at common parts of a building (such as external wall of a building), the person who arranged the works to be carried out or his/her appointed agent (including the PBP/PRC) should seek consent from all co-owners/incorporated owners and the management company of the building and observe all duties as stipulated in the deed of mutual covenant.

Construction wastes

PRC shall take appropriate measures to ensure construction wastes are disposed of properly.

Pay for Safety Scheme

The Pay for Safety Scheme was first introduced by the Government with an aim to ensure the contractors, with the employer's support, maintain a high standard of work safety and to prevent site safety from being compromised due to competitive tendering. Under the scheme, contractors are required to include in the tender the necessary safety-related items which will be paid for by the employer if the contractors have carried out the items satisfactorily. Failure in doing so will result in no payment. By means of this scheme, the Government aims to promote and encourage the practice of construction safety such that safety standard in construction sites would be enhanced.

Supportive measures

The Buildings Department has put in place the following measures to facilitate implementation of the MWCS and to assist the public in understanding and using the system effectively:

- Provide technical guidelines and practice notes on minor works to the construction industry for reference.
- Distribute leaflets and general guidelines on minor works to members of the public, building owners and owners' corporations introducing the system to assist their understanding of the classification of minor works and the appointment of appropriate PBP and PRC for the carrying out of minor works.
- Provide mobile application for the public using mobile devices to access the information related to the MWCS.
- Upload detailed information of the MWCS onto the Buildings Department website at www.bd.gov.hk for the reference of the general public.
- Establish telephone hotlines to answer public enquiries.

Enquiry

For any enquiries in connection with the MWCS, you may contact the Buildings Department by the following means:

- Postal address: G/F, Buildings Department Headquarters, North Tower, West Kowloon Government Offices, 11 Hoi Ting Road, Yau Ma Tei, Kowloon
- Email address: enquiry@bd.gov.hk
- Telephone hotline: 2626 1616 (Handled by “1823”)
- Enquiry service: G/F, Buildings Department Headquarters, North Tower, West Kowloon Government Offices, 11 Hoi Ting Road, Yau Ma Tei, Kowloon

You may download the mobile application MWCS - Quick Guide for Minor Works on App Store/Google Play to know more about the MWCS.



This pamphlet is not a legal document. It aims to introduce the main features of the MWCS to enhance the public and industry's understanding of the system.